

ADDENDUM NO. 1

January 13, 2022

TO THE PLANS AND PROJECT MANUAL FOR

Provo SD Technology Addition and Remodel

Prepared by:



233 South Pleasant Grove Blvd. Suite 105
Pleasant Grove, Utah 84062
(801) 769-3000 Office
(801) 769-3001 Fax



This addendum is hereby made a part of the contract documents. It shall be the responsibility of each Contractor to notify his subcontractors of the contents of this addendum. In case of conflict between drawings, specifications and the Addendum, this Addendum shall govern. All changes, corrections, deletions and/or additions to the initial bidding documents shall be included in the bid.

ADDENDUM NO. 1

January 13, 2022

Pre-Bid Attendance Sign-In Sheet

See the attached Pre-Bid attendance sign-in sheet dated January 10, 2022.

Architectural Items

1. Questions?

- a. All questions to be directed to:
 - i. Kyle Mendoza kylem@cmautah.com
- b. Copy all questions too:
 - i. Curtis Livingston curtisl@cmautah.com
 - ii. Tina Fluehe tinaf@provo.edu

2. Bid Schedule

- a. February 2nd, bids due
- b. February 3rd, notice to proceed
- c. February 8th, board meeting for contract approvals

3. Construction Schedule

- a. Begin April 1, 2022
- b. End September 30, 2022

4. Specifications:

- a. See dropbox link for access to the project manual.
<https://www.dropbox.com/sh/0d2evuhenkbc1e/AABGy71AxvuXSvl6vQj6WKR8a?dl=0>

5. Grade Beams below new canopy

- a. Due to the soil Type E in the area, the grade beams are a code requirement to tie together the structure. Grade beams to remain.
- b. All concrete in the area to be removed and re-poured new.

6. Existing Flooring Prep in Provisioning

- a. Intent of existing floor, is to strip down to exposed concrete before new clear coat hardener is applied. Existing concrete flooring to be prepped per new floor finish manufacturer requirements.

7. Warehouse Shear Walls

- a. See updated sheets A350, A351, A542 for interior sheathing and gyp update on Warehouse Shear Wall.

8. Exterior Weather Barrier

- a. See updated sheets A350, A351, A542 for exterior weather barrier clarification

END OF ADDENDUM

January 10, 2022

PSD Tech Bldg Add Pre-bid

Duane Christensen - Bailey Builders 801-735-1493 DUANE@BaileyBuilders.com
CLINT HALES - MAJESTIC BUILDERS 801-367-1771 CLINT@BUILDMAJESTIC.com
BRYAN WROTEN - Simplistics Construction 385-233-8359 bryan@Simplisticscc.com
John Hulst - Simplistics construction 385-321-2376 John@simplisticscc.com
T.J. Warner - Warner: Assoc. Const. 801-794-0024 tj@warnerconst.com

MARK	REVISION	DATE
1	ADDENDUM 1	1/12/22

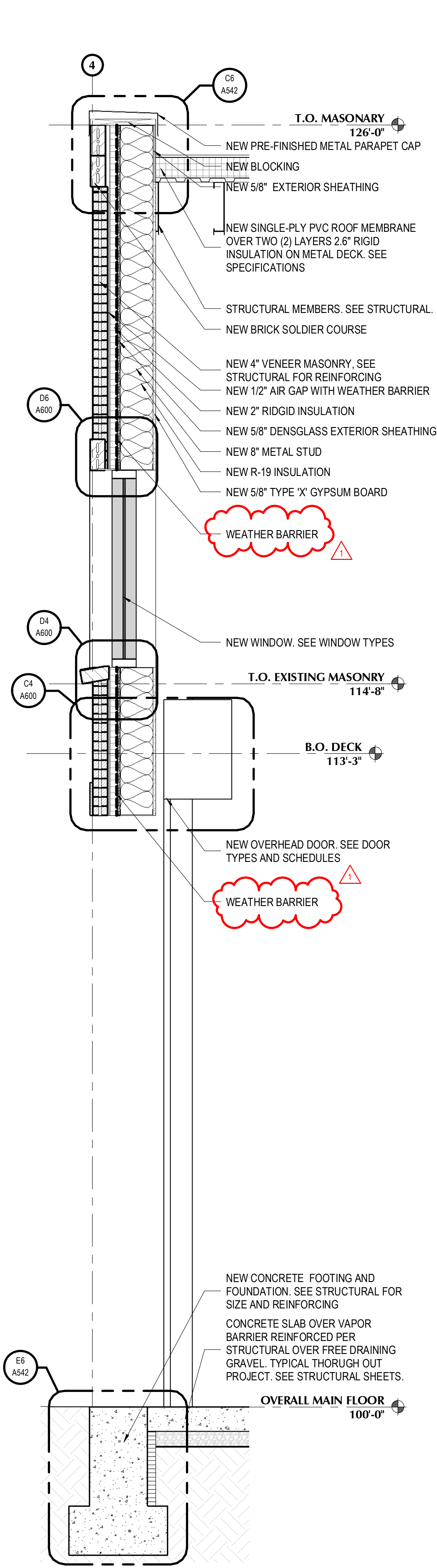
A

B

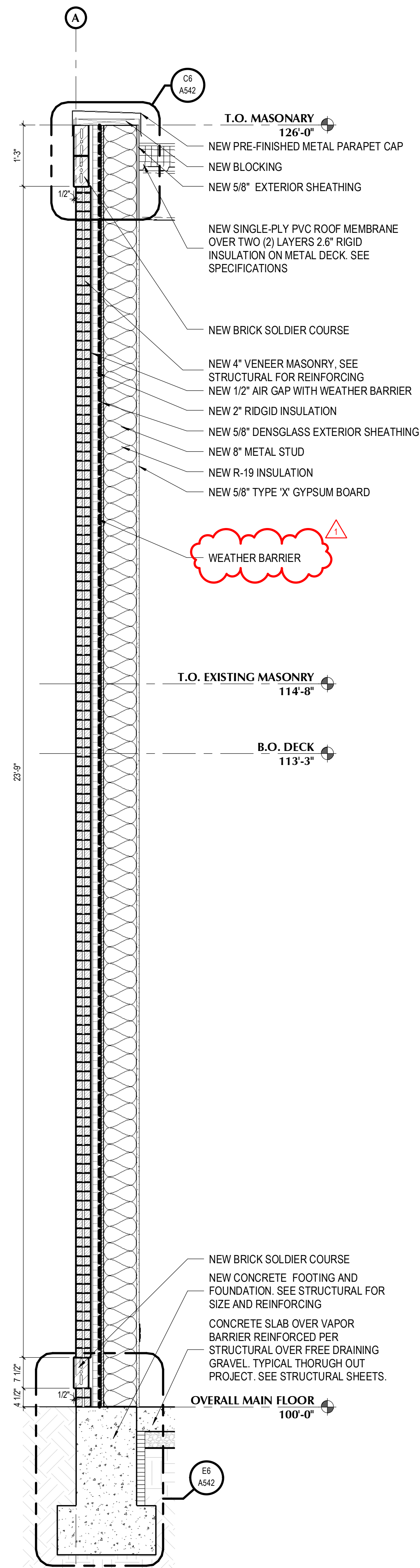
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D

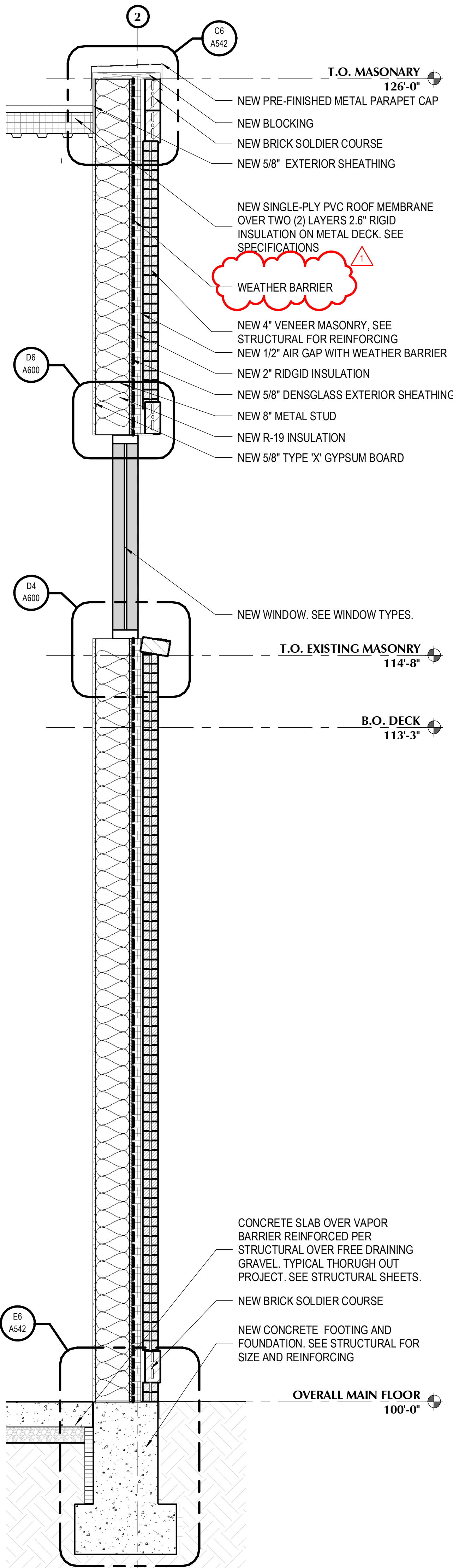
E



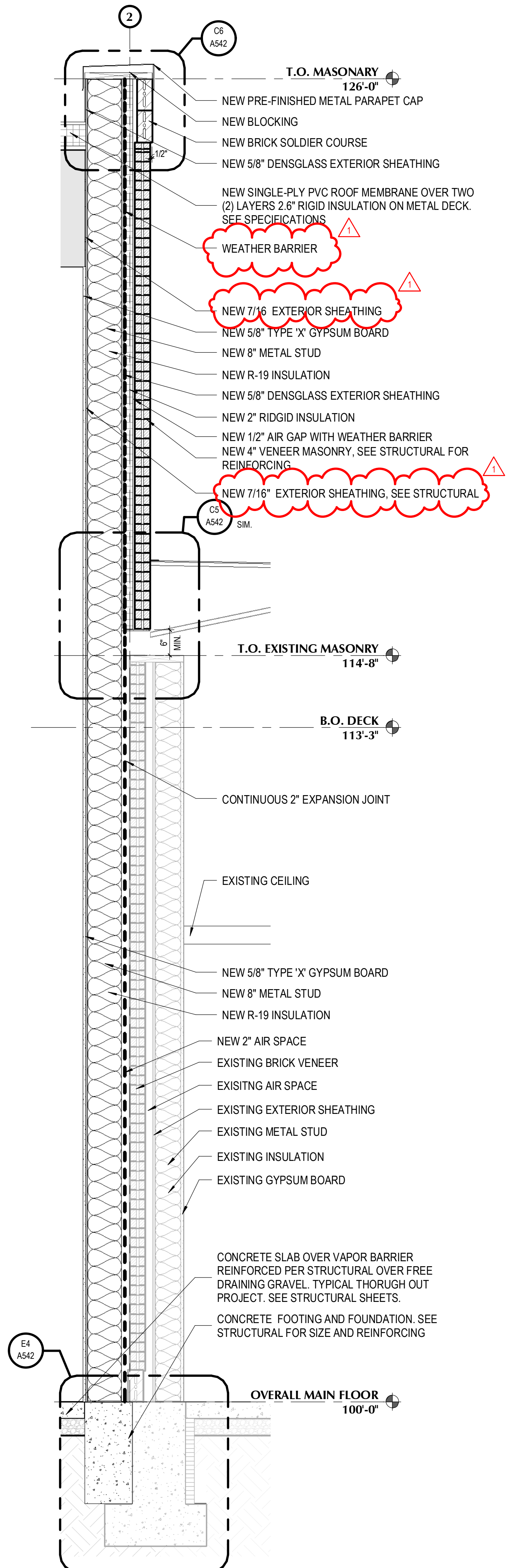
E1 WALL SECTION
A350 | SCALE: 3/4" = 1'-0"



E2 WALL SECTION
A350 | SCALE: 3/4" = 1'-0"



E4 WALL SECTION
A350 | SCALE: 3/4" = 1'-0"


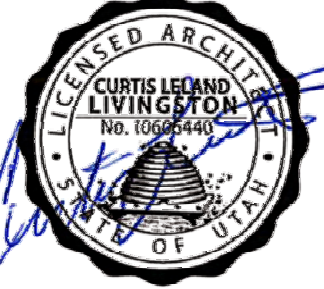
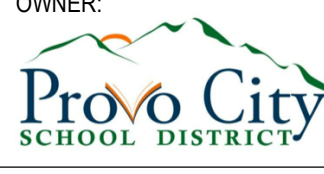


E6 WALL SECTION
A350 | SCALE: 3/4" = 1'-0"

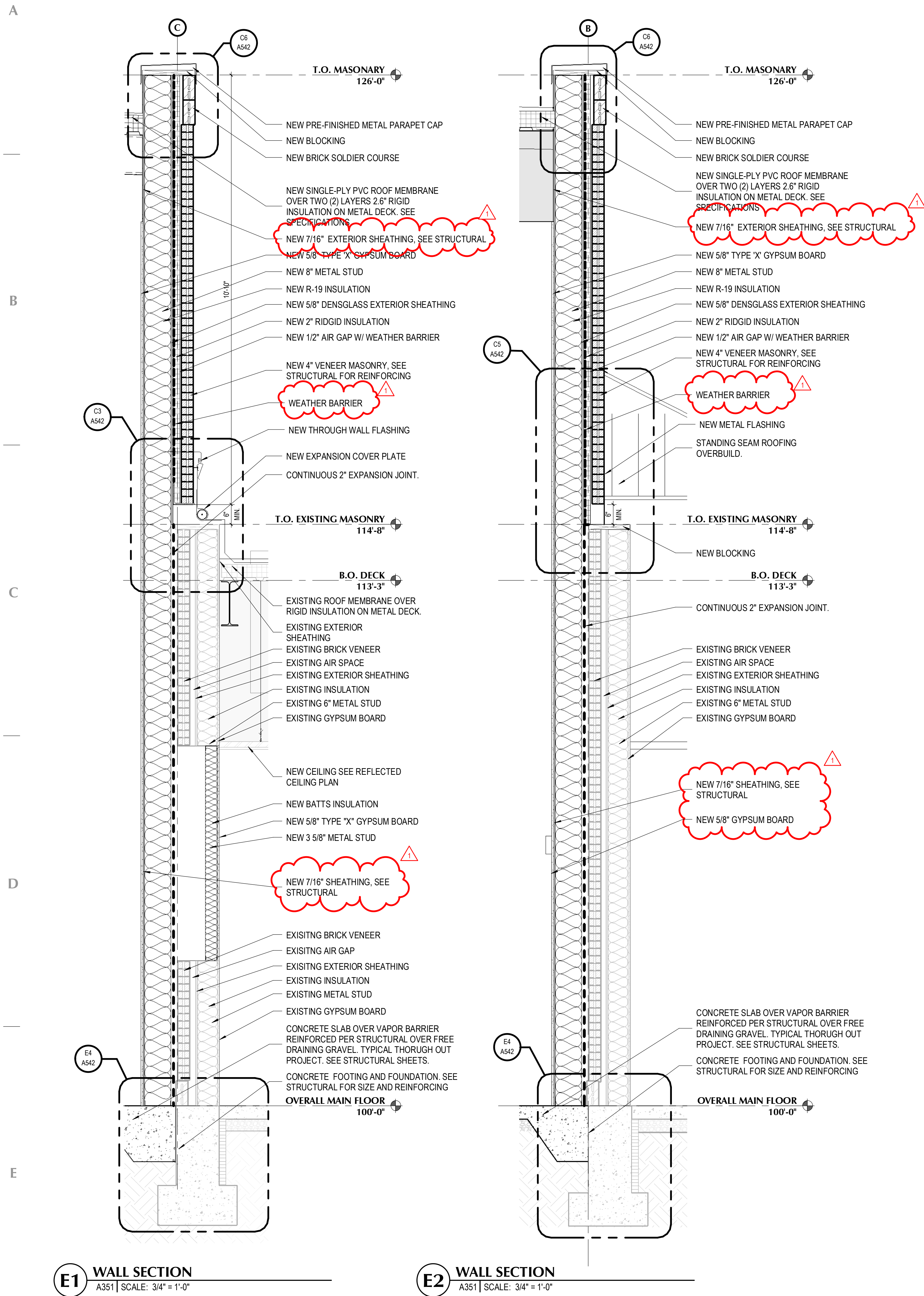
GENERAL NOTES

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. AN AUTOMATIC FIRE SPRINKLER SYSTEM IS TO BE INSTALLED THROUGHOUT THE ENTIRE BUILDING PER NFPA 13.
- C. CONCRETE FOUNDATION WALLS RETAINING EARTH TO RECEIVE TWO COATS OF BITUMINOUS DAMP PROOFING MATERIAL.
- D. MINIMUM ROOF CLASSIFICATION TO BE CLASS 'C'.
- E. MINIMUM ROOF SLOPE TO BE 1/4" PER FOOT.
- F. INSULATE ENTIRE ROOF WITH R-30 POLYISOCYANURATE.
- G. EXPOSED FOUNDATION WALLS TO RECEIVE RUBBED FINISH.
- H. SEE ENGINEERING SHEETS FOR ADDITIONAL INFORMATION.
- I. MASONRY TO HAVE CONTROL JOINTS AT 30'-0" O.C. MAXIMUM.
- J. NOT ALL INTERIOR ELEMENTS ARE NOTED FOR CLARITY. SEE WALL SECTIONS, DETAILS, AND WALL TYPES FOR ADDITIONAL INFORMATION.

THESE DRAWINGS ARE INTENDED TO BE VIEWED IN COLOR

 333 SOUTH PLEASANT GROVE BLVD. SUITE #102 PLEASANT GROVE, UTAH 84042 PHONE: (801) 785-3000 cma@curtisminer.com		DATE: JANUARY 13, 2022 PROJECT #: CMA 21-070 PROJ. MAN.: KJM CHECKED BY: CLL
PROJECT: PCSD TECHNOLOGY ADDITION & REMODEL		 03 Dec 2021
PROJECT ADDRESS: 527 S 1600 W ST PROVO, UTAH 84601		
OWNER: 		THE INFORMATION HEREIN IS THE PROPERTY OF CURTIS MINER ARCHITECTURE AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT. © 2021 CURTIS MINER ARCHITECTURE, LLC
SHEET DESCRIPTION: WALL SECTIONS		SHEET: A350

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CMA
CURTIS MINER
ARCHITECTURE

333 SOUTH PLEASANT GROVE
BLVD. SUITE #102
PLEASANT GROVE, UTAH 84042

PHONE: (801) 785-3000
cma@cmaarch.com

DATE: JANUARY 13, 2022
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CHECKED BY: CLL

PROJECT:
**PCSD TECHNOLOGY
ADDITION & REMODEL**

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PROVO, UTAH 84601

OWNER:
**Provo City
SCHOOL DISTRICT**

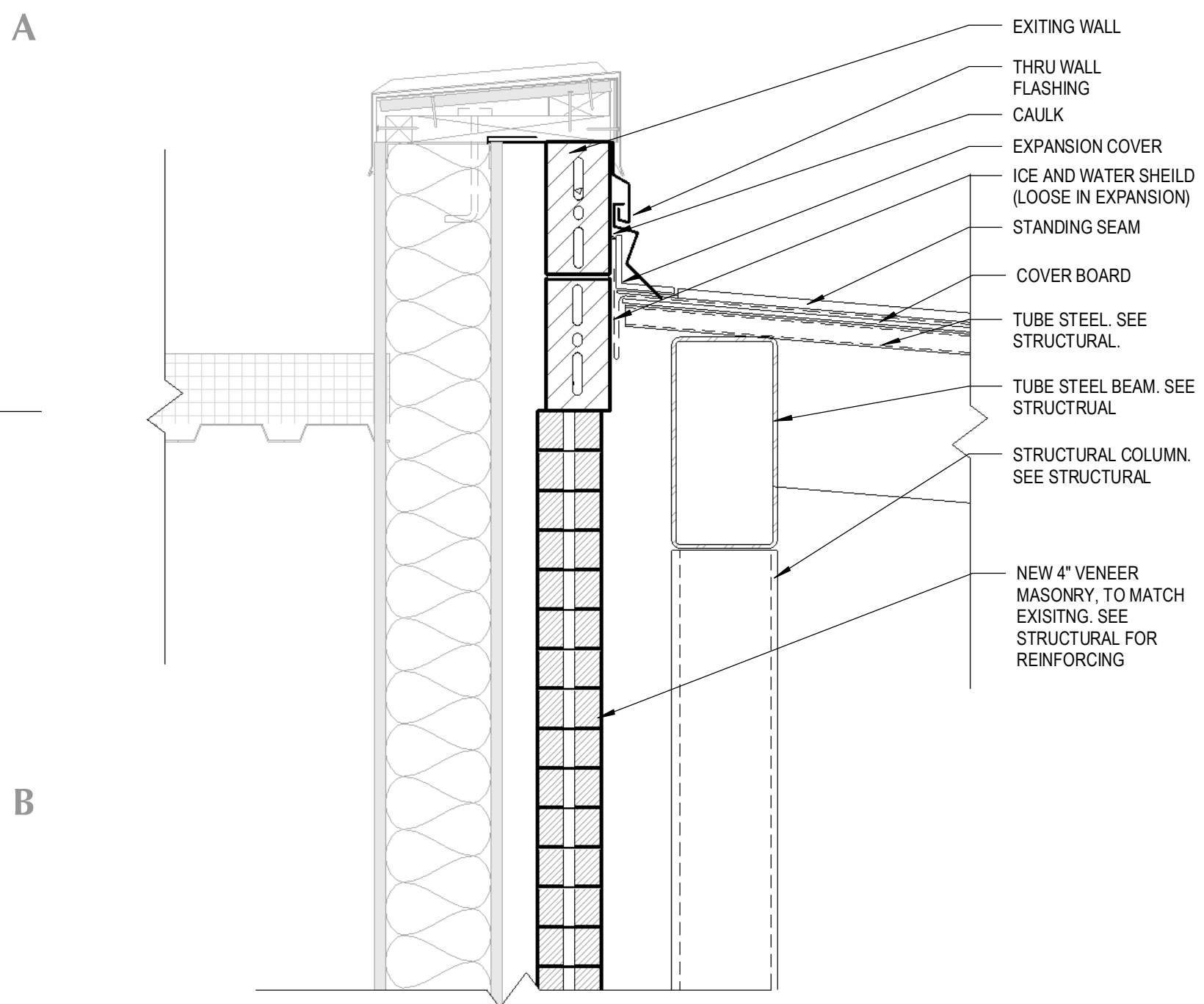
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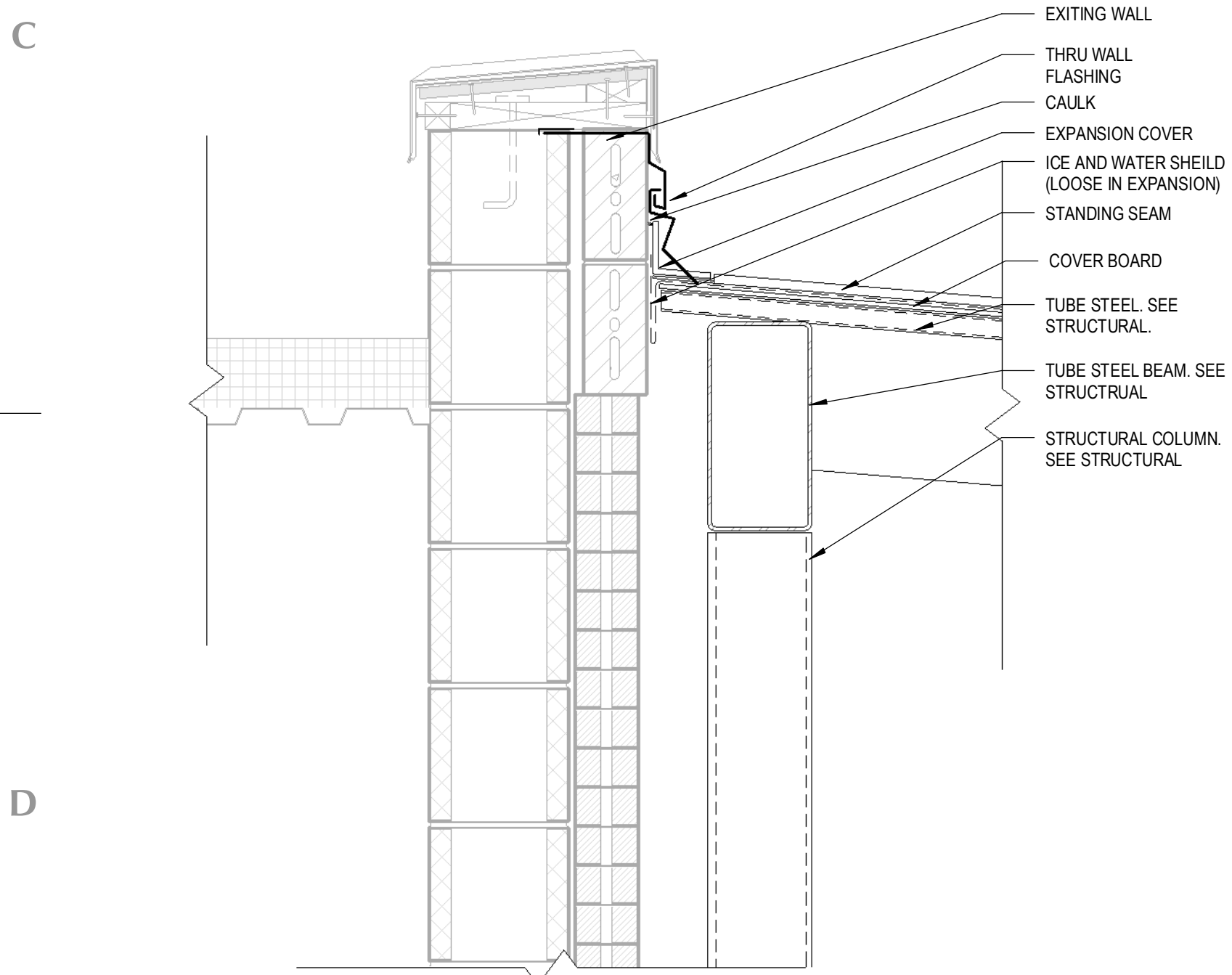
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WALL SECTIONS

SHEET:
A351

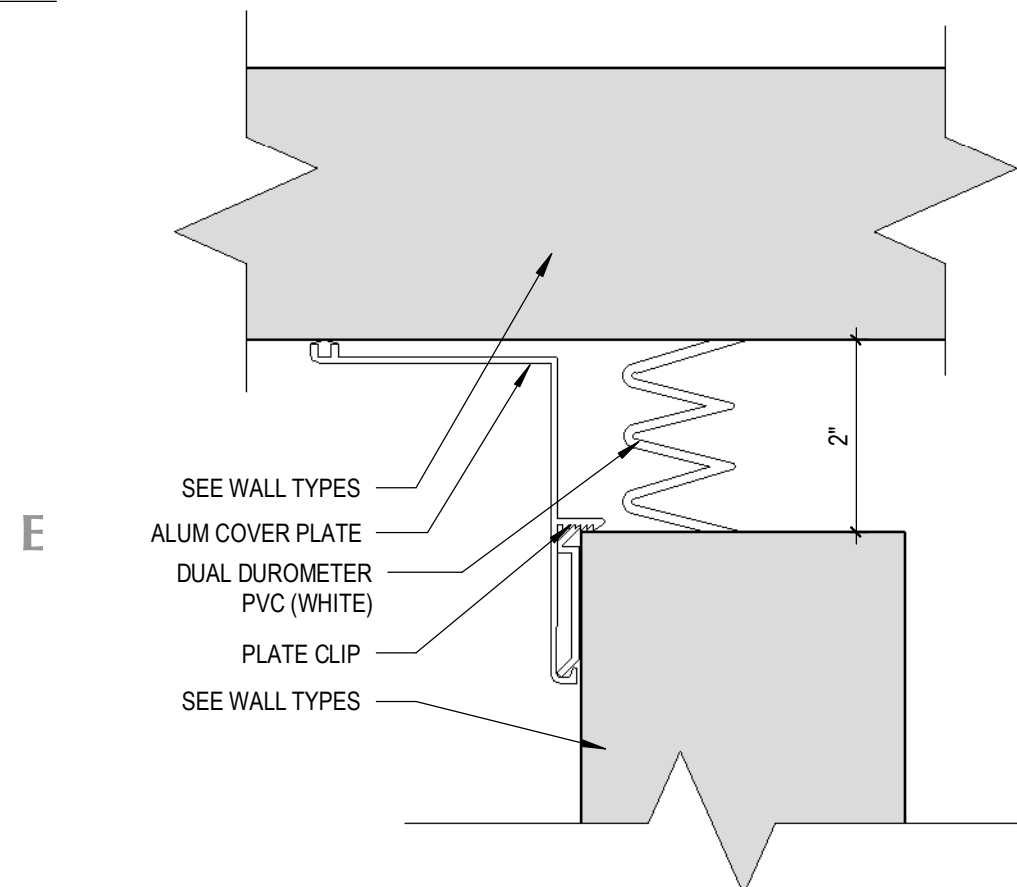
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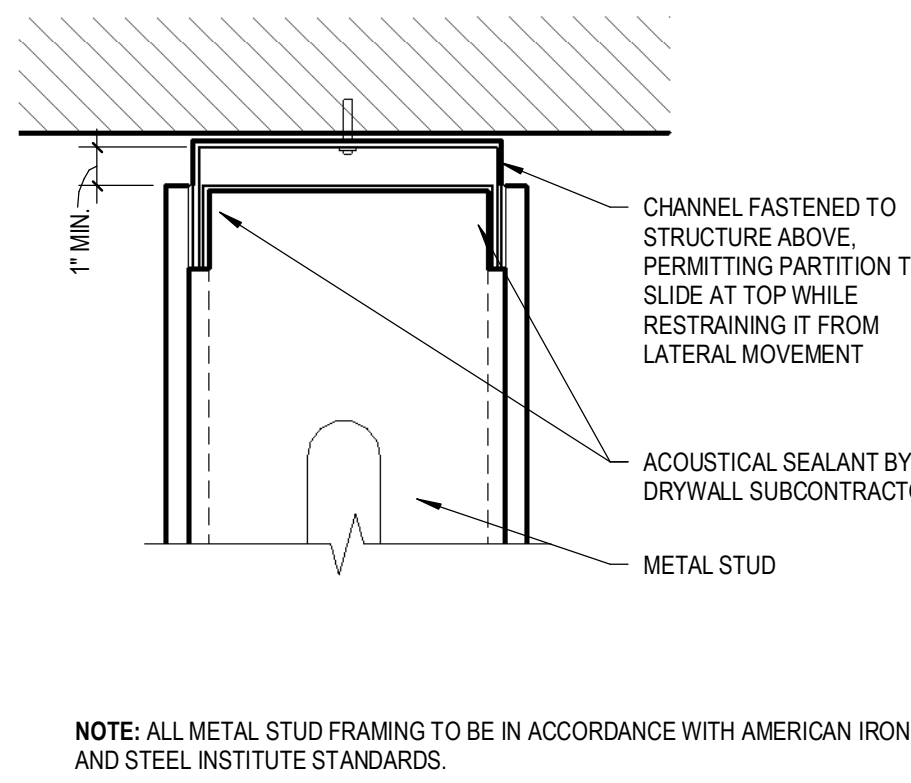
B1 STANDING SEAM CANOPY ROOF TIE-IN
A542 | SCALE: 1 1/2" = 1'-0"



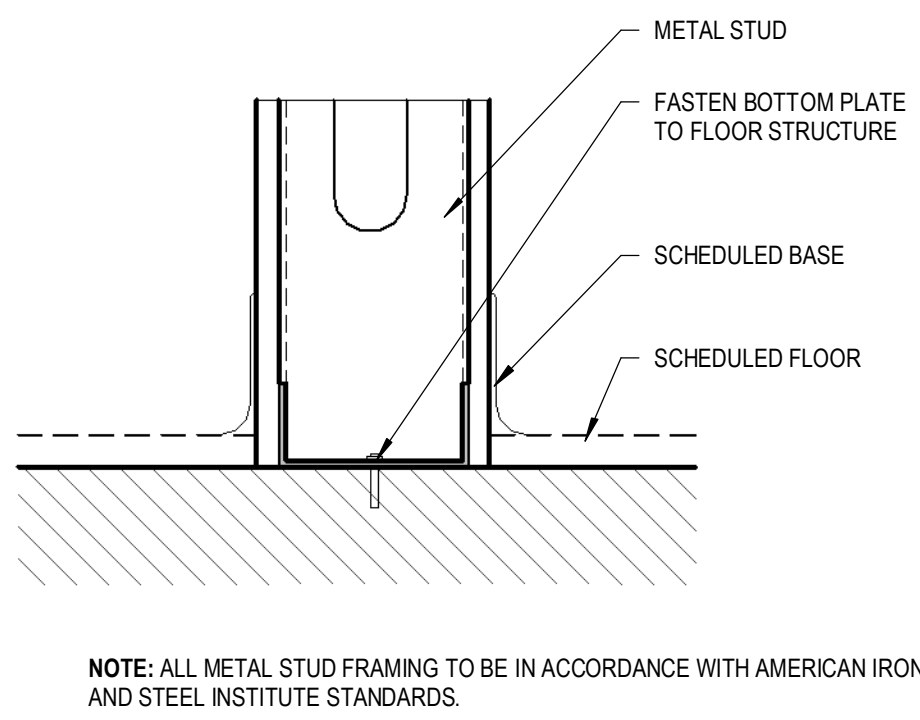
D1 STANDING SEAM CANOPY ROOF TIE-IN
A542 | SCALE: 1 1/2" = 1'-0"



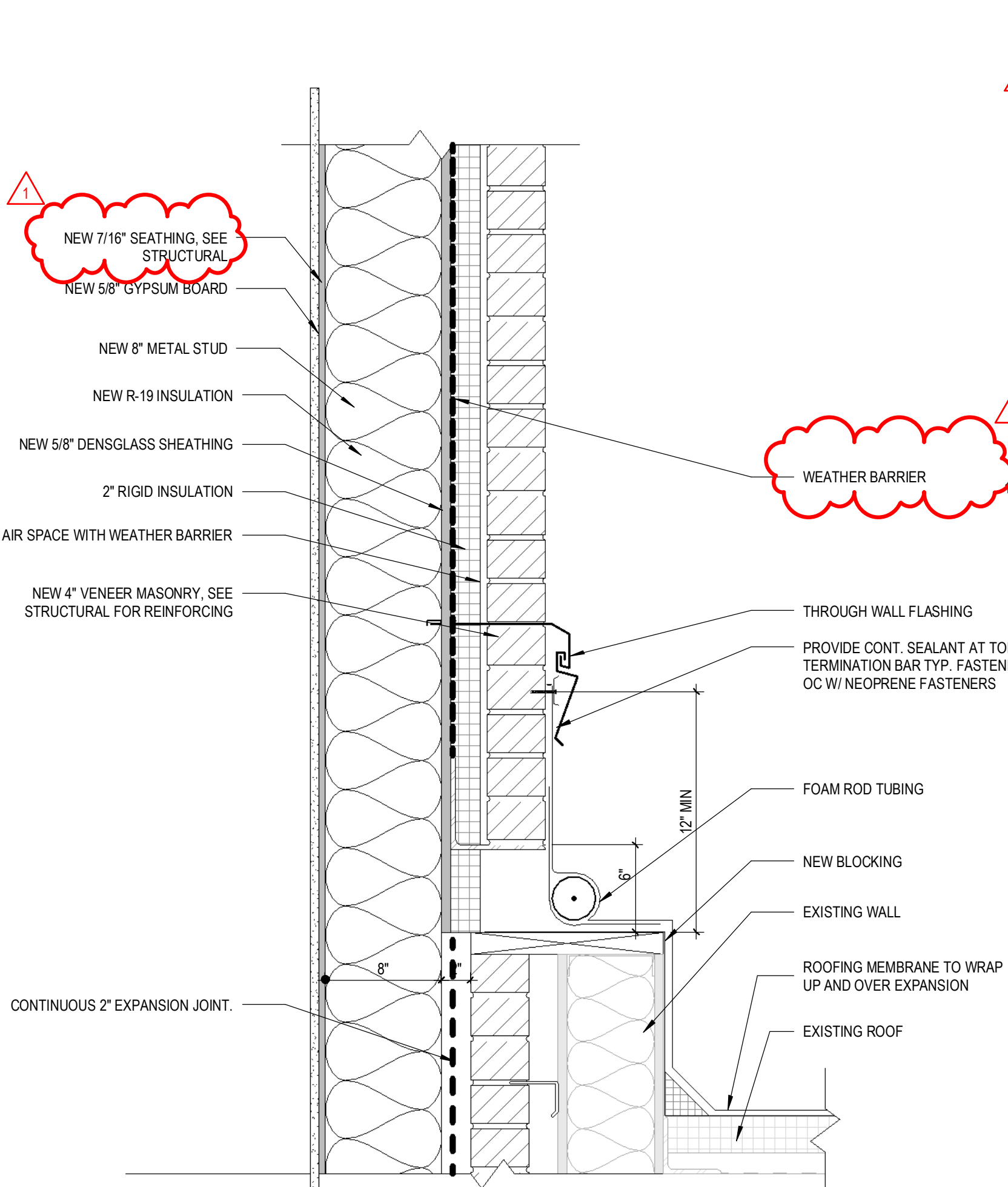
E1 TYP. WALL EXPANSION JOINT
A542 | SCALE: 6" = 1'-0"



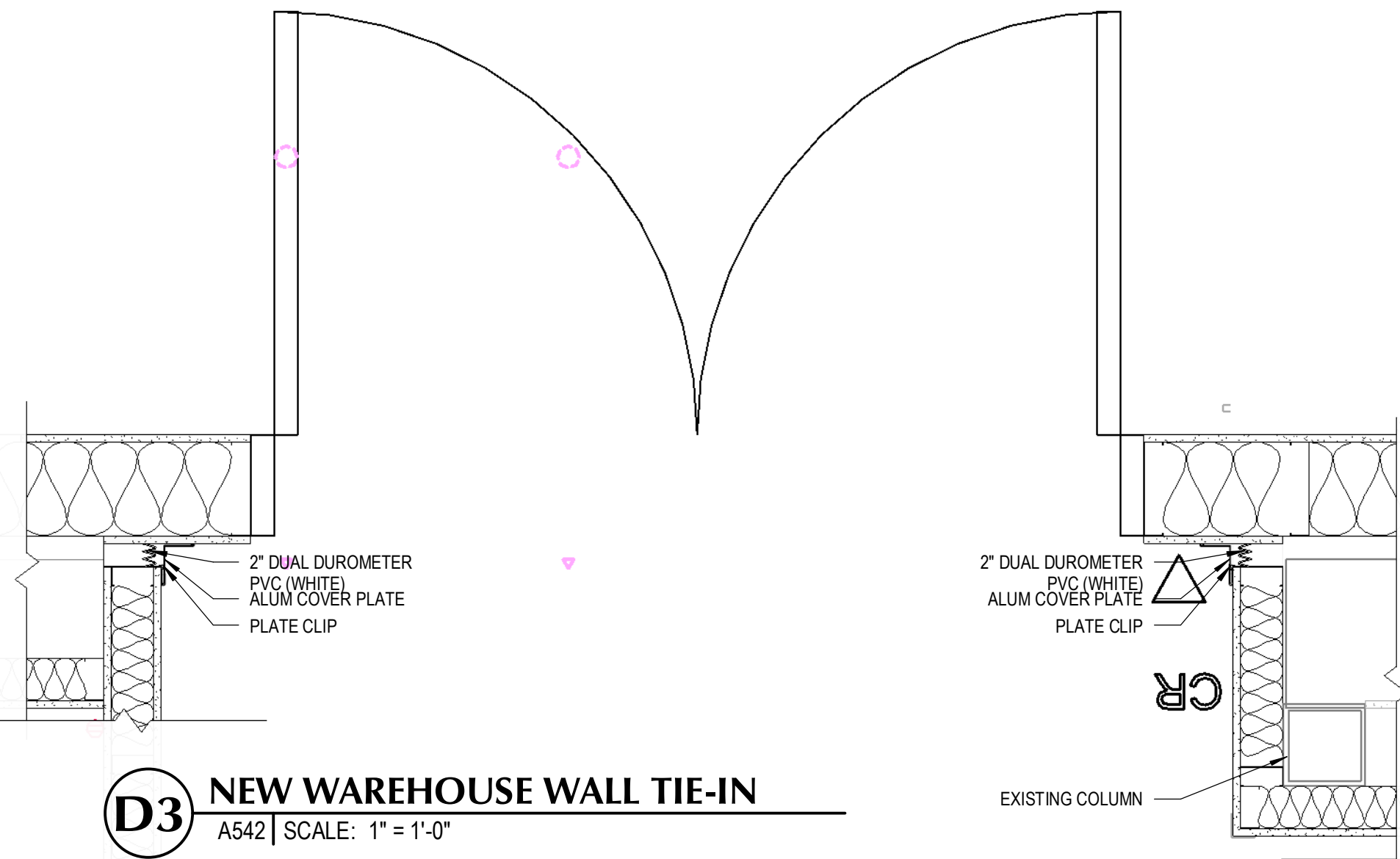
E2 WALL DEFLECTION DETAIL
A542 | SCALE: NOT TO SCALE



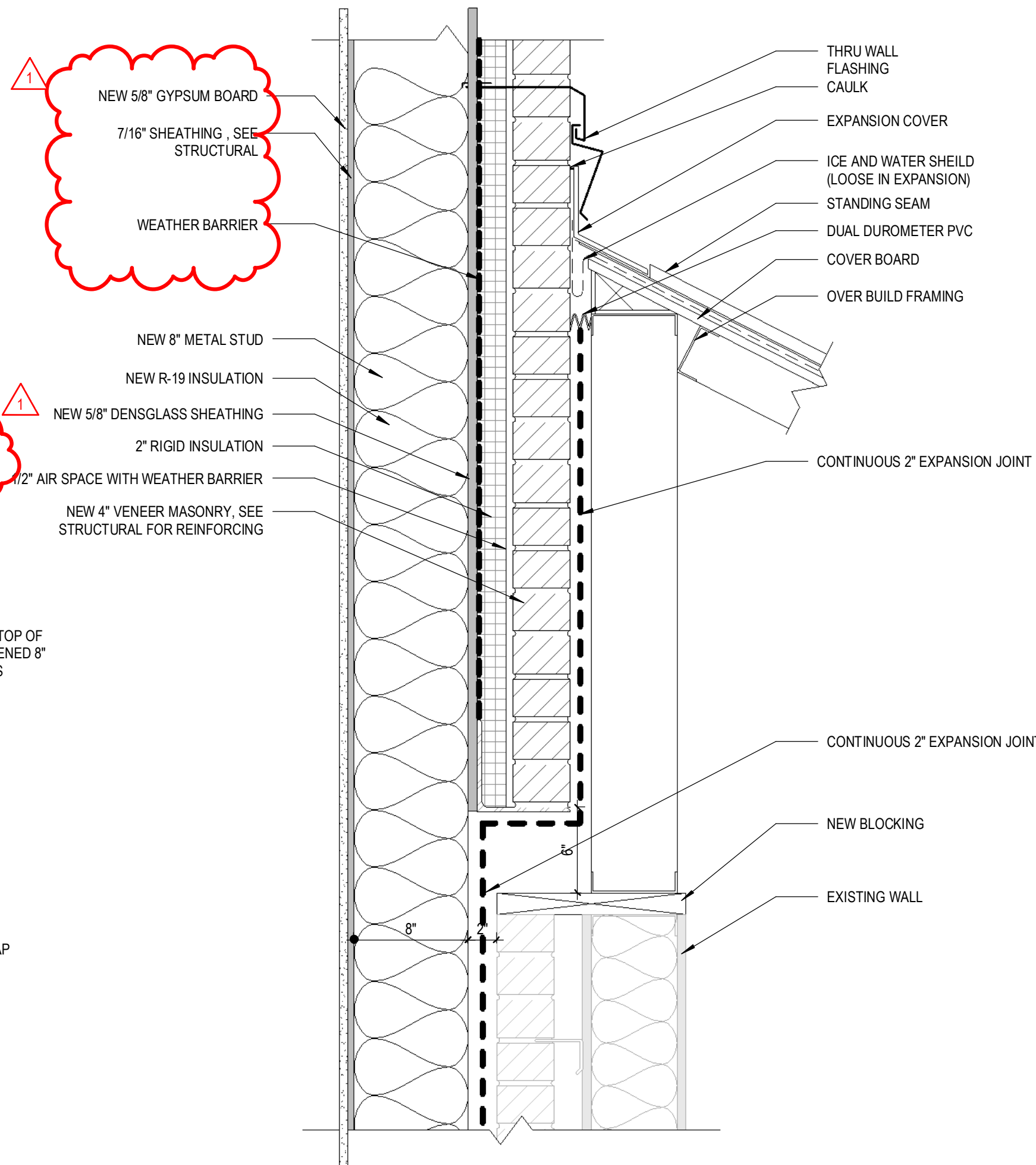
E3 WALL TO FLOOR DETAIL
A542 | SCALE: NOT TO SCALE



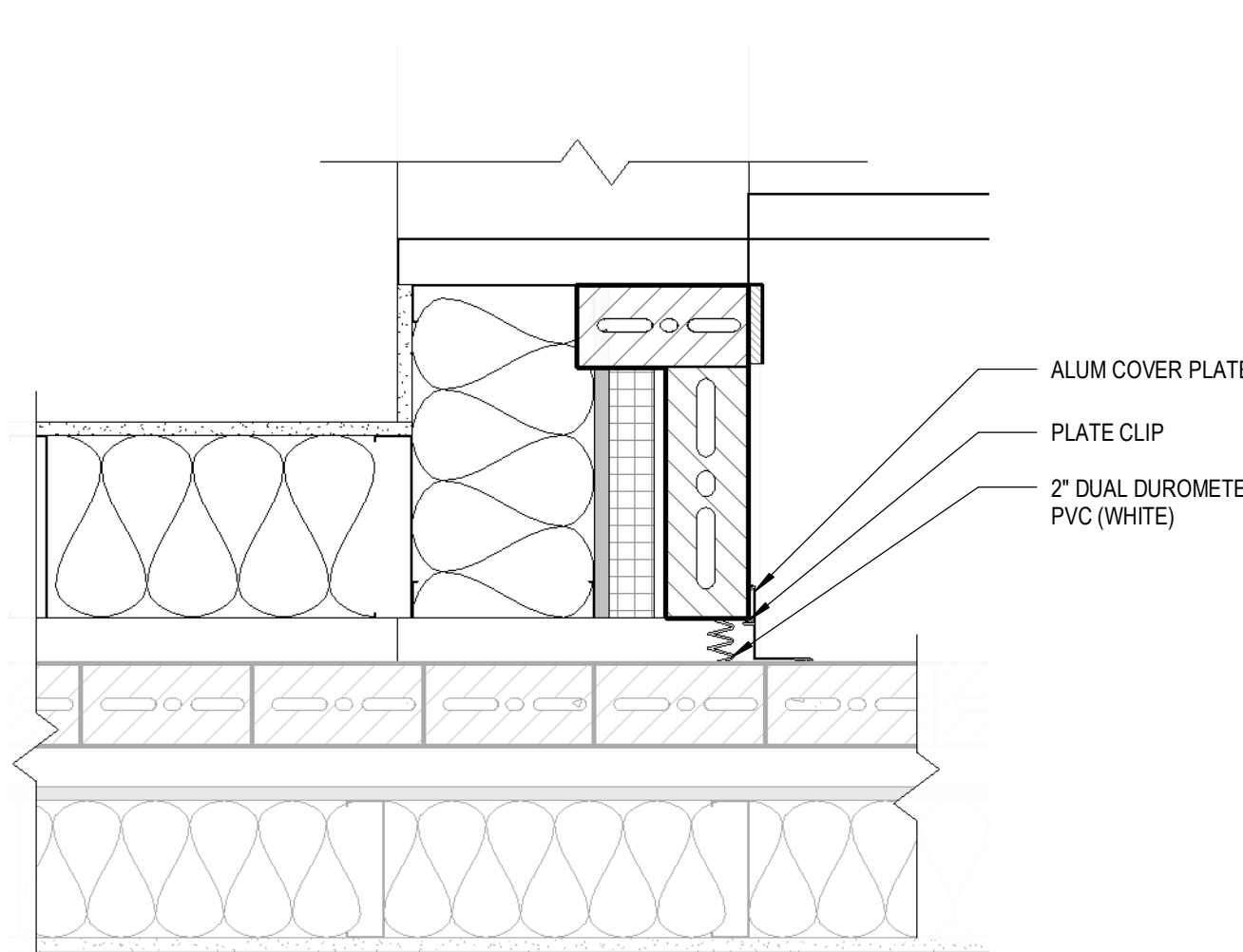
C3 EXISTING WALL TIE-IN
A542 | SCALE: 1 1/2" = 1'-0"



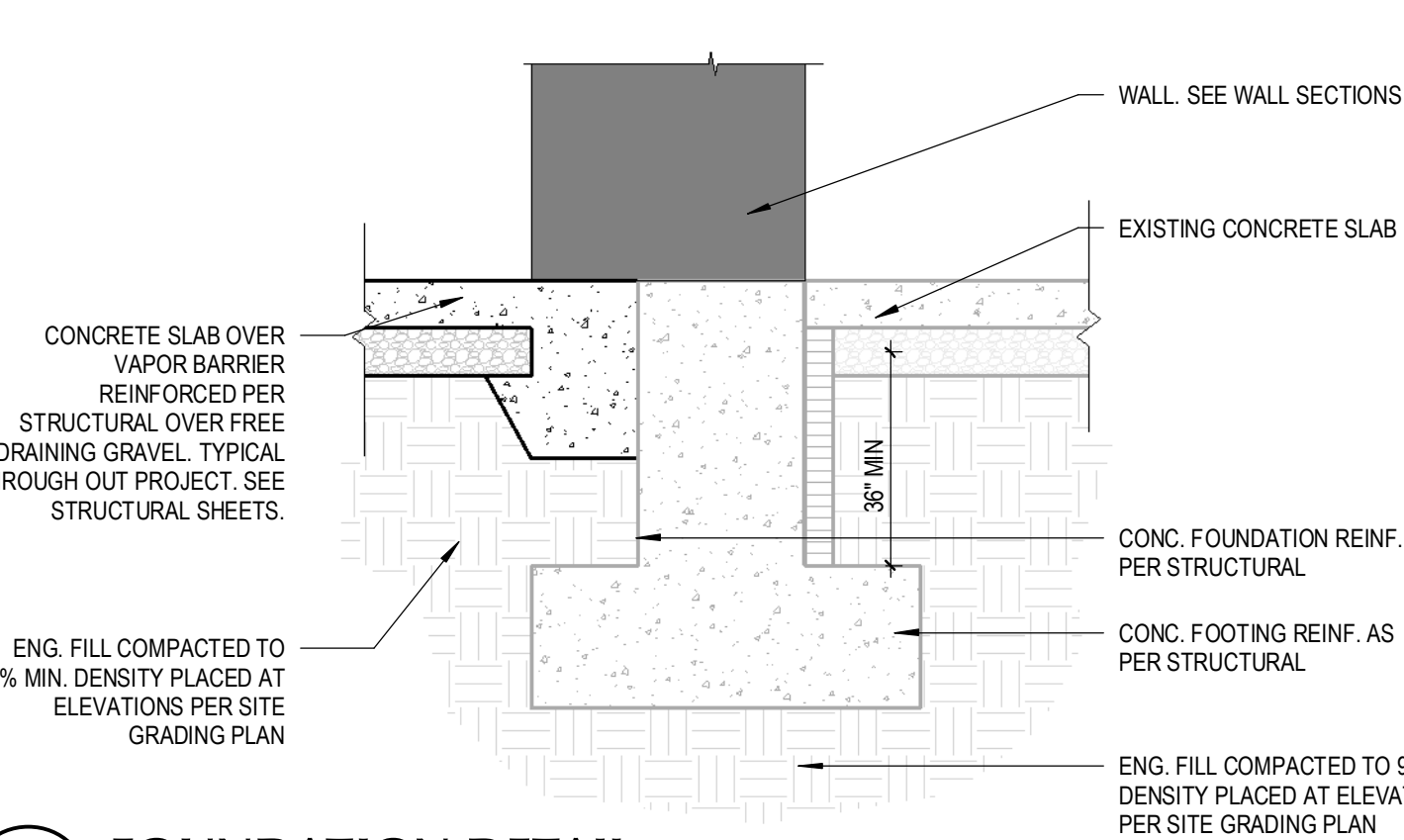
D3 NEW WAREHOUSE WALL TIE-IN
A542 | SCALE: 1" = 1'-0"



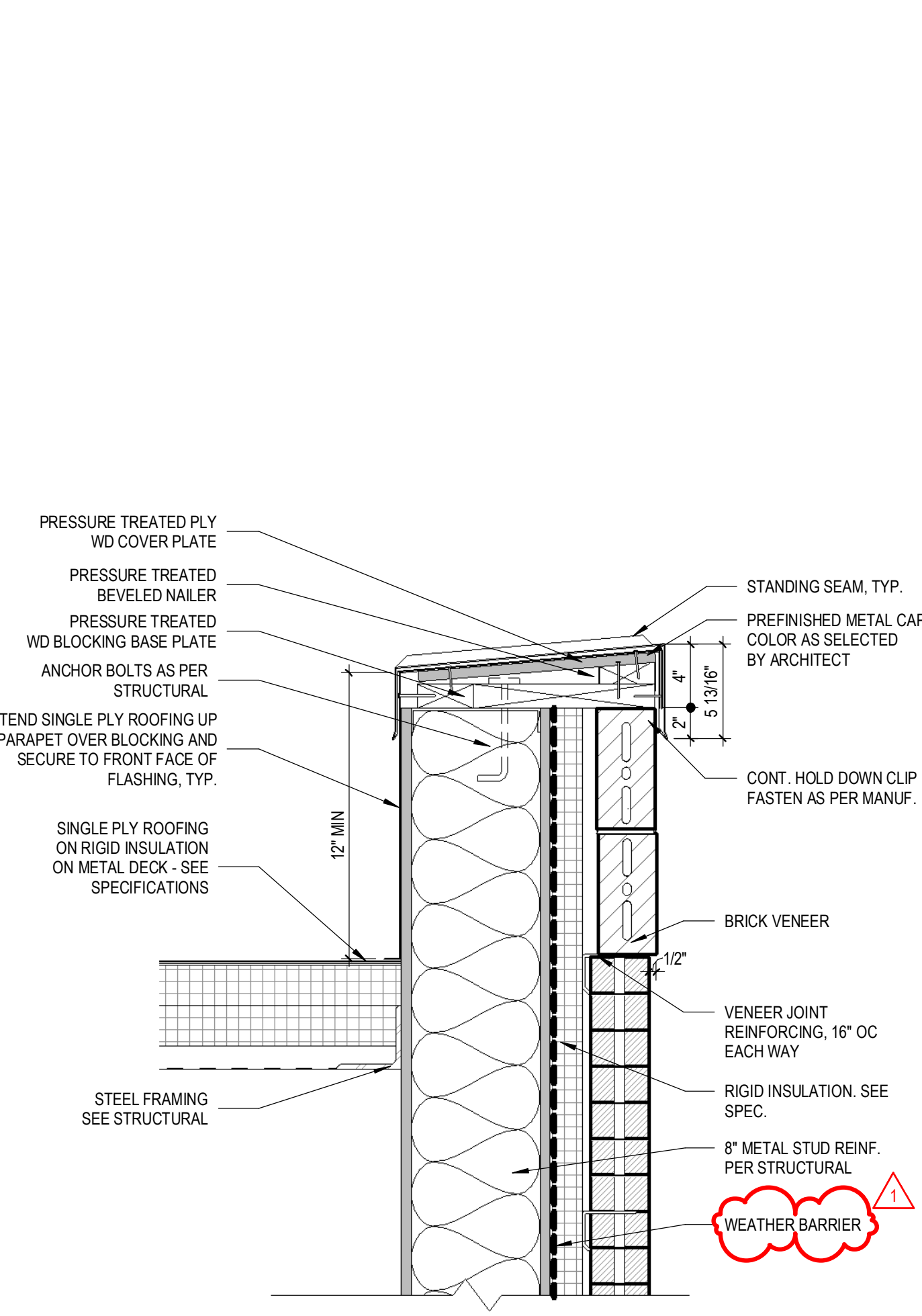
C5 STANDING SEAM OVERBUILD SECTION DETAIL
A542 | SCALE: 1 1/2" = 1'-0"



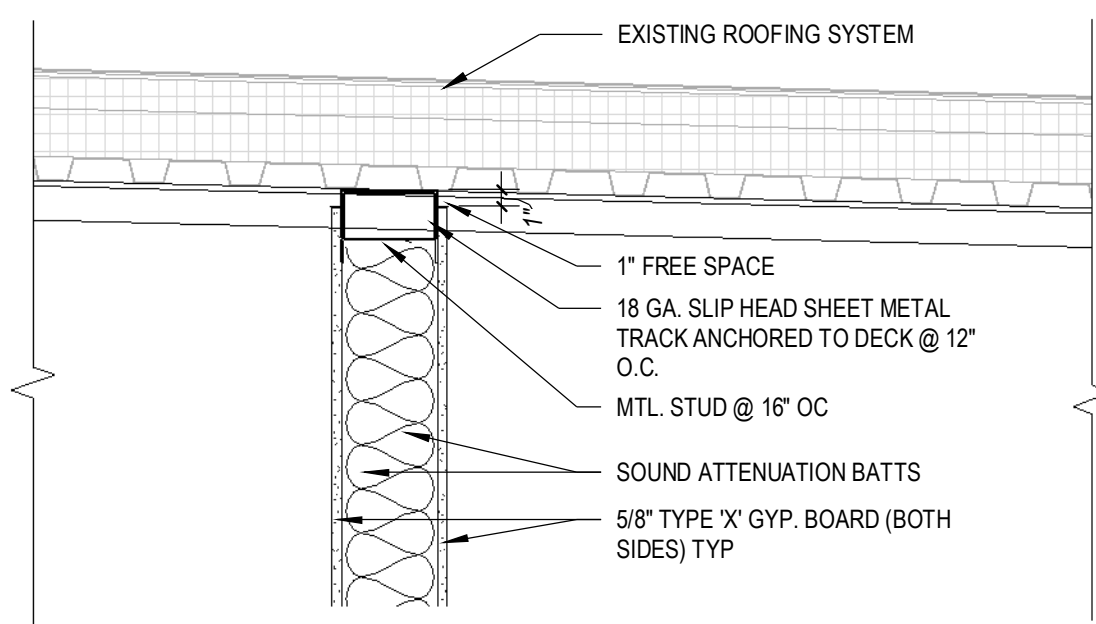
D5 TYP. EXPANSION JOINT
A542 | SCALE: 1 1/2" = 1'-0"



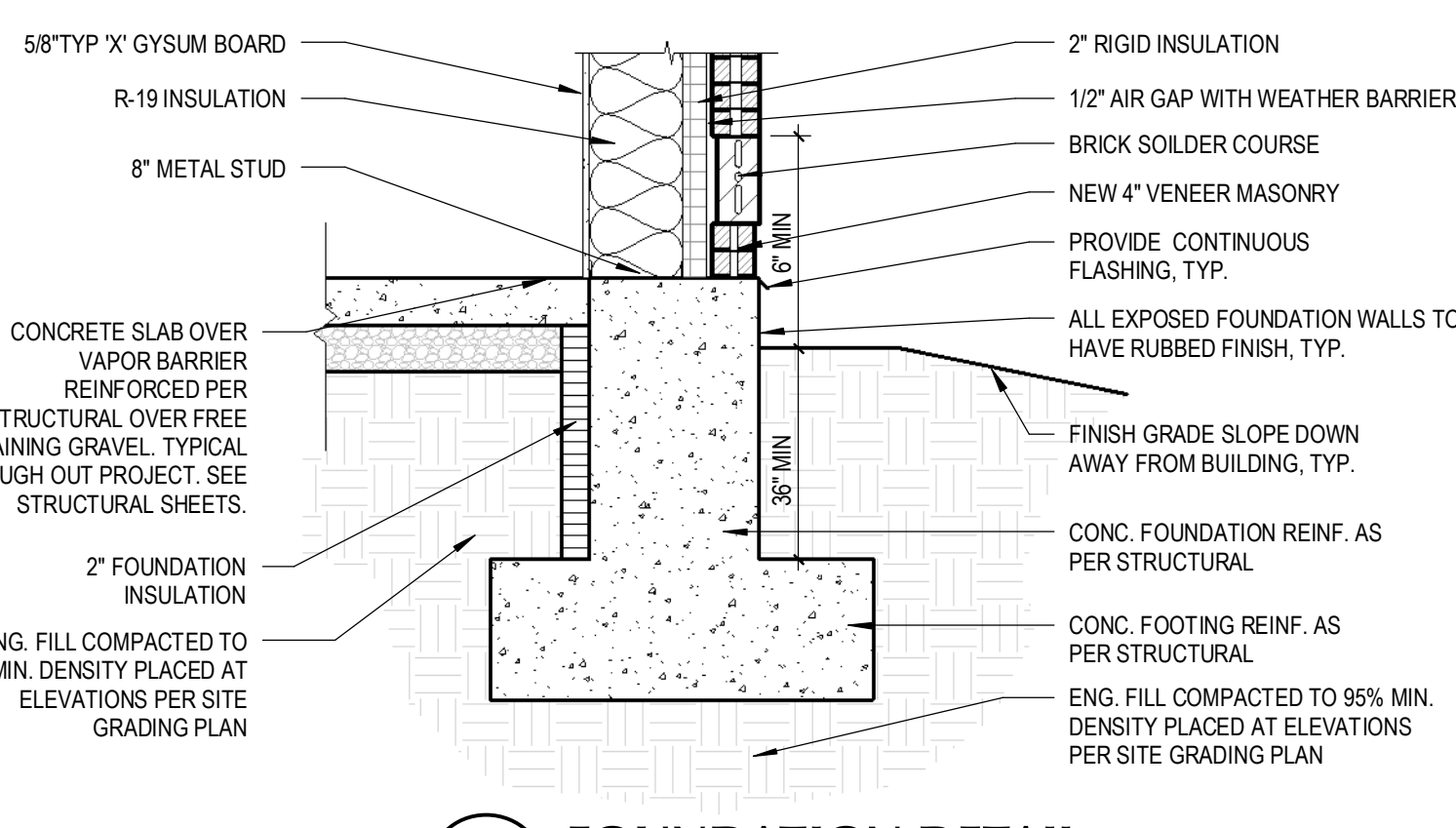
E4 FOUNDATION DETAIL
A542 | SCALE: 3/4" = 1'-0"



C6 PARAPET CAP
A542 | SCALE: 1 1/2" = 1'-0"



D6 STUD WALL TO EXISTING DECK DETAIL
A542 | SCALE: 1" = 1'-0"



E6 FOUNDATION DETAIL
A542 | SCALE: 3/4" = 1'-0"

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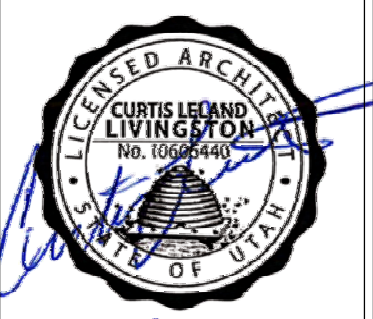
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A542