

# ADDENDUM NO. 1

June 7, 2021

TO THE PLANS AND PROJECT MANUAL FOR

## Provo Peaks Elementary Re-Roof

Prepared by:



**233 South Pleasant Grove Blvd. Suite 105**  
**Pleasant Grove, Utah 84062**  
**(801) 769-3000 Office**  
**(801) 769-3001 Fax**



This addendum is hereby made a part of the contract documents. It shall be the responsibility of each contractor to notify his subcontractors of the contents of this addendum. In case of conflict between drawings, specifications and the Addendum, this Addendum shall govern. All changes, corrections, deletions and/or additions to the initial bidding documents shall be included in the bid.

# ADDENDUM NO. 1

June 7, 2021

## General Items:

1. **Pre-bid Conference Attendance not Mandatory:** It has been determined that attendance at the Pre-bid conference is not Mandatory.
2. **Bid Due Date changed:** All bids will be **due on or before 2:00 p.m., June 15, 2021**
3. **Sub-list required with submitted bids:** Each contractor shall provide the completed sub-list within 24 hours of the Bid-time to the Architect via email to:  
[curtisl@cmautah.com](mailto:curtisl@cmautah.com)
4. **Construction Start Date:** The contractor will be able to start construction as soon as the contractor is awarded the project and a contract is in signed. The award of the project is anticipated within 1- week of the bid.
5. **Construction Completion Date:** No later than **October 31, 2021.** That being said the district hopes to have the project complete as soon as possible.

## Architectural Items

1. **Revised Bid Form** – See the attached revised bid Form
2. **Unit costs:** Per the attached revised Bid Form and Unit Prices Form the contractor shall provide a unit cost for all labor and materials associated with replacing damaged roofing insulation. If during construction the contractor discovers roofing insulation that is damaged and needs to be replaced the unit cost will be the basis for approving a change order.
3. **Sheet A004 added Sheet Note 1.28** – Provide turn bar half way up high parapet walls to prevent roofing membrane from pulling out from under parapet cap. See reference image E2/A007
4. **Protective Walkway** – See revised locations for protective walkway on revised sheets attached to this addendum.

# ADDENDUM NO. 1

June 7, 2021

## Attachments:

- **Added/Revised Specifications:**

004113 - Bid Proposal

004322 - Unit Prices Form which shall be attached to the Bid Form by the Contractor

012200 - Unit Prices Unit prices for the roof insulation replacement.

012300 – Alternates – changed the Alternate to be a deductive for the parapet caps

- **Revised drawings with clouds: A002, A003, A004, A005**

**END OF ADDENDUM**

BID PROPOSAL

PROVO PEAKS ELEMENTARY SCHOOL REROOF  
665 East Center Street  
Provo, Utah 84606

The Board of Education  
Provo City School District  
280 West 940 North  
Provo, Utah 84604

Date: \_\_\_\_\_

The undersigned hereby declares, as Bidder, that he has inspected the site and having carefully studied the Drawings and Specifications titled **PROVO PEAKS ELEMENTARY SCHOOL REROOF** as prepared by Curtis Miner Architecture, and having considered all the conditions affecting the work, the undersigned proposes to furnish all labor and material, transportation, and services necessary to complete the work set forth in the Contract Documents.

Enclosed herewith is a Bid Bond, Certified or Cashier's Check for Five Percent (5%) of my Base Bid amount, and I hereby agree if I am the successful Bidder, that its proceeds shall be forfeited to and become the property of the Owner in case I fail or refuse to enter into the Contract and furnish Bonds required with surety approved by you within five (5) calendar days after having been requested to do so by you.

I am prepared to furnish Performance and Payment Bonds in the amount of One Hundred Percent (100%) of my Base Bid, with \_\_\_\_\_ as Surety. I propose to have this company write my bond subject to your approval.

Enclosed is proof of Liability Insurance and Workmen's Compensation.

The following Addenda to the Contract Documents are acknowledged:

- Addendum No. \_\_\_\_\_ Dated \_\_\_\_\_
- Addendum No. \_\_\_\_\_ Dated \_\_\_\_\_
- Addendum No. \_\_\_\_\_ Dated \_\_\_\_\_
- Addendum No. \_\_\_\_\_ Dated \_\_\_\_\_
- Addendum No. \_\_\_\_\_ Dated \_\_\_\_\_

The undersigned further agree(s) to complete the work on or before the completion date specified in the Contract Documents.

**BID SUMMARY**

**Total Base Bid** – Provo Peaks Elementary School Reroof

\$ \_\_\_\_\_ Dollars (\$ \_\_\_\_\_)

(In case of conflict, written amount shall govern)

This Base Bid shall be good for 30 days after bid opening.

**ALTERNATES**

Provide cost for the following ALTERNATES. Total amounts to be added to or deducted from the above base bid amount:

**Alternate No. 1:** Provide all material, equipment, and labor to carefully remove and reinstall all existing sheet metal parapet caps.

\_\_\_\_\_ Dollars (\$ \_\_\_\_\_) (DEDUCT)  
(In the case of discrepancy, written amount shall govern)

**BID SUPPLEMENTS**

A. The following supplements are a part of this Bid Form and are attached hereto.

- 1. Bid Form Supplement - Unit Prices.

General Contractor's Company Name \_\_\_\_\_

Signature \_\_\_\_\_

( )  
( Seal )  
( )

Title or Office \_\_\_\_\_

Legal Address \_\_\_\_\_

Contractor's License Number \_\_\_\_\_

If Corporation, organized under the Laws of the State of \_\_\_\_\_

The Officer's are as follows:

President \_\_\_\_\_

Secretary \_\_\_\_\_

**SECTION 00 4322**

**UNIT PRICES FORM**

**1.1 BID INFORMATION**

- A. Bidder: \_\_\_\_\_.
- B. Project Name: Provo Peaks Elementary School Reroof.
- C. Project Location: 665 East Center Street, Provo, Utah 84606.
- D. Owner: Provo City School District.
- E. Architect: Curtis Miner Architecture.

**1.2 BID FORM SUPPLEMENT**

- A. This form is required to be attached to the Bid Form.
- B. The undersigned Bidder proposes the amounts below be added to or deducted from the Contract Sum on performance and measurement of the individual items of Work.
- C. If the unit price does not affect the Work of this Contract, the Bidder shall indicate "NOT APPLICABLE."

**1.3 UNIT PRICES**

- A. Unit-Price No. 1: Roof Insulation Replacement.
  - 1. \_\_\_\_\_ dollars (\$\_\_\_\_\_ ) per unit.

**1.4 SUBMISSION OF BID SUPPLEMENT**

- A. Respectfully submitted this \_\_\_\_ day of \_\_\_\_\_, 2021.
- B. Submitted By: \_\_\_\_\_(Insert name of bidding firm or corporation).
- C. Authorized Signature: \_\_\_\_\_(Handwritten signature).
- D. Signed By: \_\_\_\_\_(Type or print name).
- E. Title: \_\_\_\_\_(Owner/Partner/President/Vice President).

**END OF DOCUMENT 00 4322**

## SECTION 01 2200

### UNIT PRICES

#### PART 1 - GENERAL

##### 1.1 SUMMARY

- A. Section includes administrative and procedural requirements for unit prices.
- B. Related Requirements:
  - 1. Section 01 2600 "Contract Modification Procedures" for procedures for submitting and handling Change Orders.

##### 1.2 DEFINITIONS

- A. Unit price is an amount incorporated in the Agreement, applicable during the duration of the Work as a price per unit of measurement for materials, equipment, or services, or a portion of the Work, added to or deducted from the Contract Sum by appropriate modification, if the scope of Work or estimated quantities of Work required by the Contract Documents are increased or decreased.

##### 1.3 PROCEDURES

- A. Unit prices include all necessary material, plus cost for delivery, installation, insurance, applicable taxes, overhead, and profit.
- B. Measurement and Payment: See individual Specification Sections for work that requires establishment of unit prices. Methods of measurement and payment for unit prices are specified in those Sections.
- C. Owner reserves the right to reject Contractor's measurement of work-in-place that involves use of established unit prices and to have this work measured, at Owner's expense, by an independent surveyor acceptable to Contractor.
- D. List of Unit Prices: A schedule of unit prices is included in Part 3. Specification Sections referenced in the schedule contain requirements for materials described under each unit price.

#### PART 2 - PRODUCTS (Not Used)

#### PART 3 - EXECUTION

##### 3.1 SCHEDULE OF UNIT PRICES

- A. Item No. 1 – Roof Insulation:
  - 1. Base Bid: Existing roof insulation to remain. Verify moisture content.

2. Unit Price Description: Unit price for labor and material to replace damaged roof insulation with new roof insulation as specified in Section 07 5419.14 - Mechanically-Attached and Fully Adhered Polyvinyl Chloride Roofing.
3. Unit of Measurement: Square Foot of Insulation.

**END OF SECTION 01 2200**



## SECTION 01 2300

### ALTERNATES

#### PART 1 - GENERAL

##### 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

##### 1.2 SUMMARY

- A. Section includes administrative and procedural requirements for alternates.

##### 1.3 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the bidding requirements that may be added to or deducted from the base bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
  - 1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.
  - 2. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.

##### 1.4 PROCEDURES

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
  - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Notification: Immediately following award of the Contract, notify each party involved, in writing, of the status of each alternate. Indicate if alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated revisions to alternates.
- C. Execute accepted alternates under the same conditions as other work of the Contract.

- D. Schedule: A schedule of alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

**PART 2 - PRODUCTS (Not Used)**

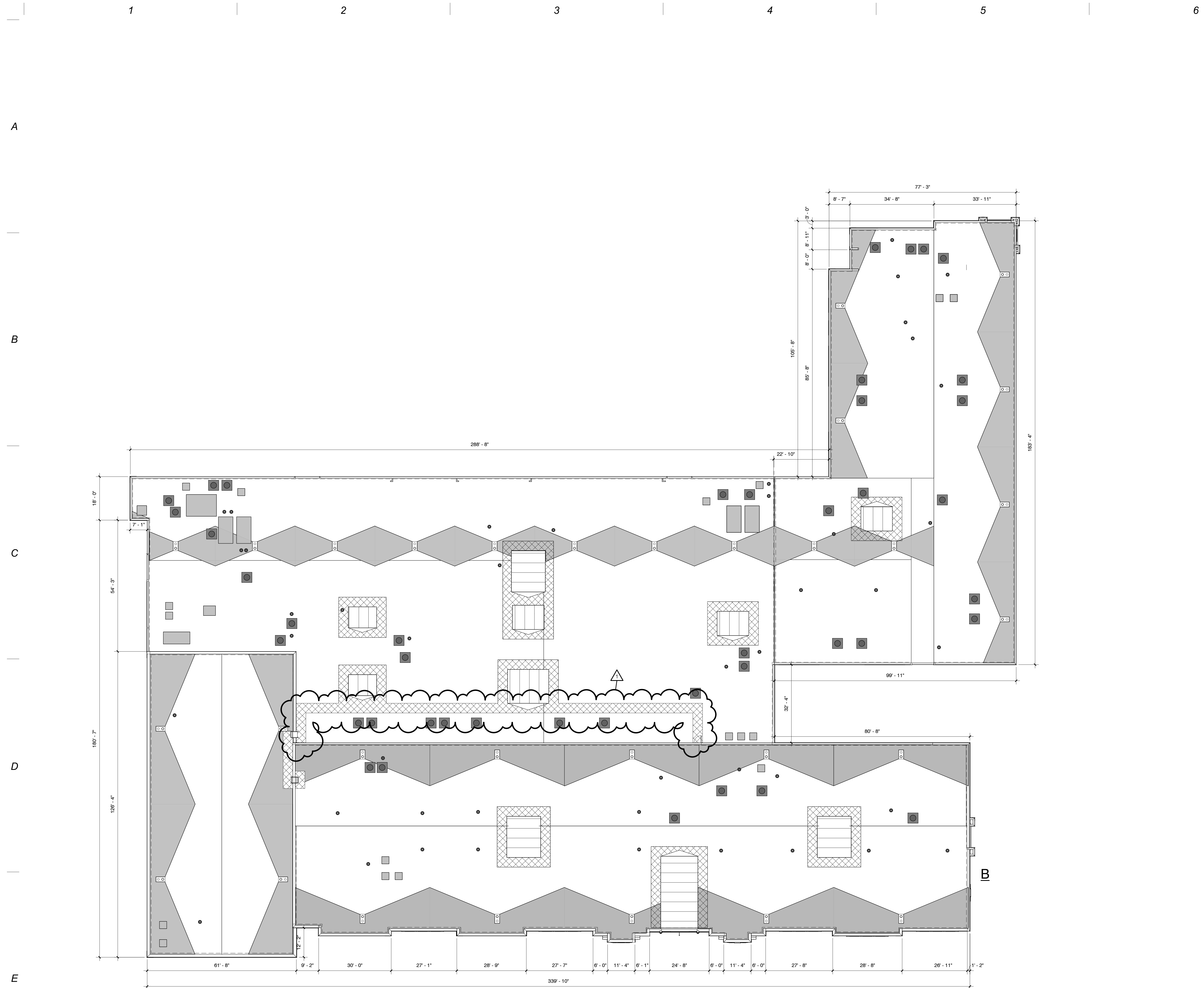
**PART 3 - EXECUTION**

3.1 SCHEDULE OF ALTERNATES

- A. Alternate No. 1: Sheet Metal Flashing and Trim:
1. Base Bid: Provide all material, equipment, and labor to replace all existing sheet metal parapet caps with new sheet metal parapet caps as detailed. Refer to Drawings for parapet cap locations and details and Section 07 6200 - Sheet Metal Flashing and Trim.
  2. Deductive Alternate: Carefully remove and reinstall the existing sheet metal parapet caps where indicated on the Drawings.

**END OF SECTION 01 2300**

MARK	REVISION	DATE
1	ADDENDUM #1	6/7/2021



**ALTERNATES LEGEND**

**ALTERNATE #1** KEEP EXISTING FLASHINGS, DRIP EDGES, AND PARAPET CAPS AND REINSTALL.

**UNIT COST LEGEND**

**UNIT COST #1** PROVIDE UNIT PRICE FOR POLY-ISO INSULATION FOR INSTANCES WHERE EXISTING ROOF INSULATION NEEDS TO BE REPLACED

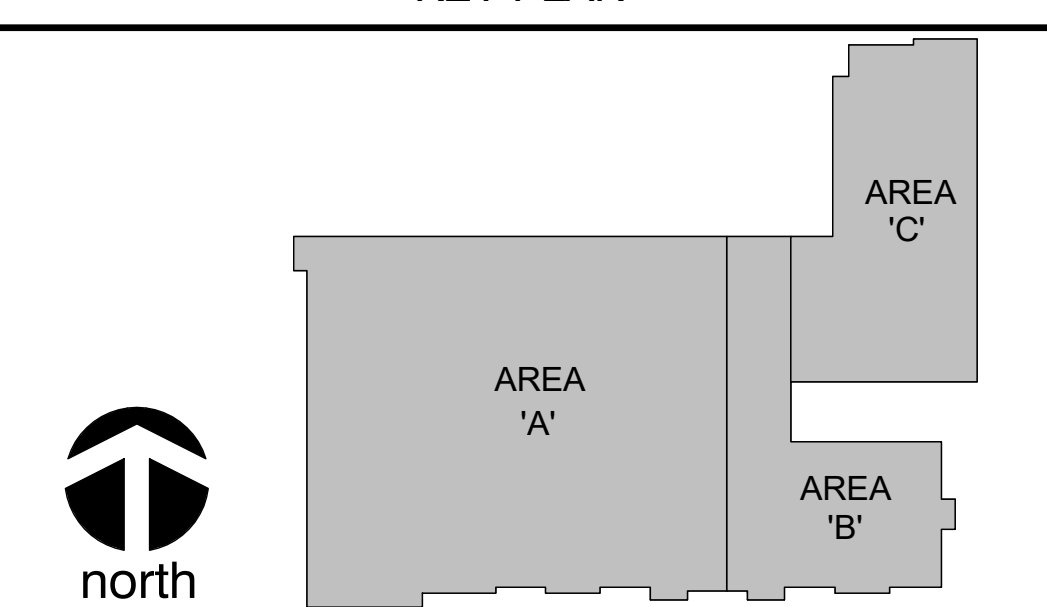
**ROOF TOP LEGEND**

- FIELD CONTOURED TAPERED ROOF CRICKET
- NEW SINGLE-PLY ROOFING SYSTEM OVER EXISTING 1.5" POLY-ISO OVER ROOFING INSULATION
- FULLY ADHERED PROTECTIVE ROOFING MATS AROUND PERIMETER OF ROOF HATCHES, LADDERS, ACCESS DOORS, AND ROOF TOP MECH. EQUIPMENT ETC.
- EXISTING SKYLIGHT
- EXISTING ROOF DRAIN
- EXISTING PIPE VENT
- EXISTING ROOF TOP MECHANICAL UNIT.
- LINE DENOTES LOCATION WHERE MEMBRANE TO TERMINATE UP WALL MIN. 18" MATCH EXISTING
- LINE DENOTES LOCATION WHERE MEMBRANE TO WRAP OVERTOP OF PARAPET

**GENERAL NOTES**

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. COORDINATE INSTALLATION OF ALL WATER CONTRACT ASSEMBLIES PRIOR TO CONSTRUCTION OF JOINING OR RELATED STRUCTURES.
- C. WHERE THERE IS DAMAGE TO EXISTING POLY-ISO ROOF INSULATION, REPLACE. PROVIDE UNIT COST #1.
- D. MINIMUM ROOF SLOPE TO BE 1/4" PER FOOT.
- E. FLASH AND COUNTER FLASH ALL ROOF PENETRATIONS PER SINGLE-PLY MANUFACTURER'S RECOMMENDATIONS.
- F. ALL MECHANICAL UNITS AND ROOF PENETRATIONS MAY NOT BE SHOWN. PROVIDE FLASHING, CRICKETS, AND REGLETS AT EACH UNIT. CRICKETS TO SLOPE 1/4" PER FOOT MINIMUM. SEE TYPICAL ROOF DETAILS.
- G. NEW MECHANICAL CURBS TO BE 8" MINIMUM ABOVE NEAREST HORIZONTAL OR SLOPED ROOF SURFACE.
- H. SLEEPER INSTALLATION NOT PERMITTED AT MECHANICAL UNITS. PROVIDE FULL MECHANICAL CURB DETAILING.
- I. DO NOT SCALE DRAWINGS

**KEY PLAN**



**E1 OVERALL ROOF PLAN**  
A002 | SCALE: 1/16" = 1'-0"

<p><b>CURTIS MINER ARCHITECTURE</b></p>	<p>233 SOUTH PLEASANT GROVE BLVD. SUITE # 105 PLEASANT GROVE, UTAH 84062</p> <p>PHONE: (801) 769-3000 FAX: (801) 769-3001 <a href="mailto:cm@cmnash.com">cm@cmnash.com</a></p>	DATE: 05/27/2021
		<p>PROJECT #: 21-038.7 PROJ. MAN.: CLL CHECKED BY: CLL</p>
<p>PROJECT: <b>PROVO PEAKS ELEMENTARY - RE-ROOF</b></p>		
<p>PROJECT ADDRESS: 665 E CENTER ST. PROVO, UT 84606</p> <p>OWNER: <b>Provo City School District</b></p>		
<p>SHEET DESCRIPTION: <b>OVERALL ROOF PLAN</b></p>		<p>SHEET: <b>A002</b></p>

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BID DOCUMENTS

MARK	REVISION	DATE
1	ADDENDUM #1	6/7/2021

**SHEET NOTES**

- 1.02 EXISTING ROOF DRAIN TO REMAIN.
- 1.08 EXISTING SKYLIGHT TO REMAIN. SKYLIGHT TO BE LIFTED TO ALLOW FOR NEW MEMBRANE TO EXTEND UP AND OVER EXISTING CURB PER DETAILS.
- 1.11 NEW FULLY ADHERED PROTECTIVE ROOFING MATS 4'-0" WIDE AS INDICATED AROUND LADDERS, SKYLIGHTS, ACCESS PATHS, ETC.
- 1.12 NEW SINGLE-PLY ROOFING SYSTEM OVER EXISTING POLY-ISO INSULATION.
- 1.14 EXISTING ROOF CRICKETS.
- 1.26 EXISTING LADDER TO BE REMOVED AND RE-MOUNTED UP ONE MASONRY COURSE SO THAT ATTACHMENTS TO WALL DO NOT PENETRATE FLASHINGS OR PARAPET CAP. SEE REFERENCE IMAGES B5 & B6 ON A007.
- 1.27 EXISTING LADDER TO REMAIN

**ALTERNATES LEGEND**

**ALTERNATE #1** KEEP EXISTING FLASHINGS, DRIP EDGES, AND PARAPET CAPS AND REINSTALL.

**UNIT COST LEGEND**

**UNIT COST #1** PROVIDE UNIT PRICE FOR POLY-ISO INSULATION FOR INSTANCES WHERE EXISTING ROOF INSULATION NEEDS TO BE REPLACED.

**ROOF TOP LEGEND**

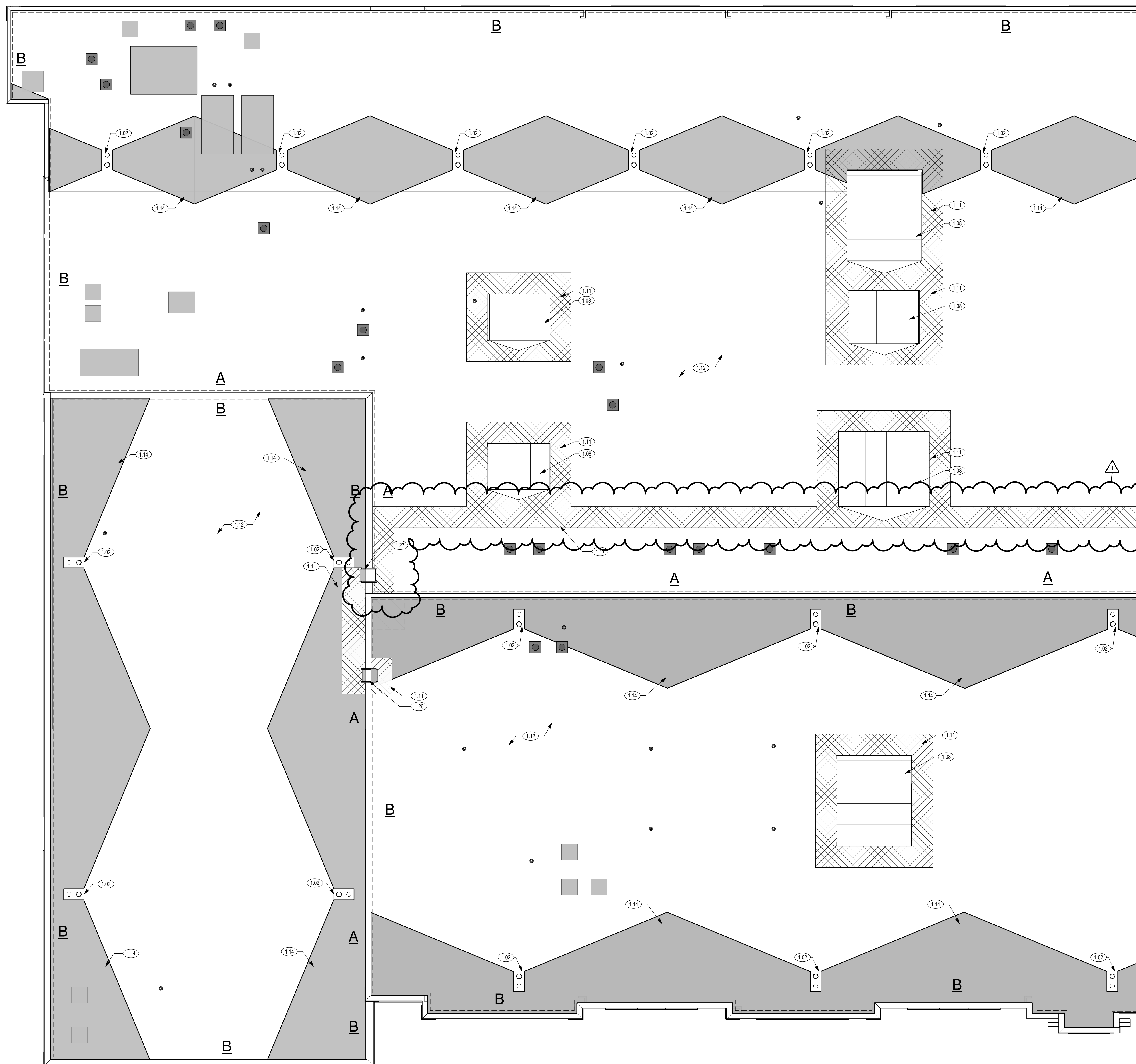
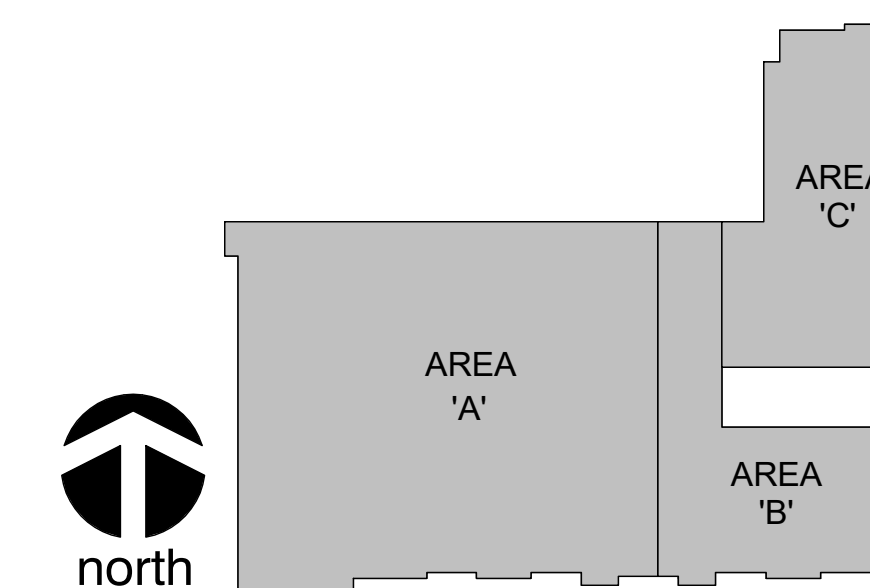
	FIELD CONTOURED TAPERED ROOF CRICKET		EXISTING ROOF DRAIN
	NEW SINGLE-PLY ROOFING SYSTEM OVER NEW 1.5" POLY-ISO OVER ROOFING INSULATION		EXISTING PIPE VENT
	FULLY ADHERED PROTECTIVE ROOFING MATS 4' AROUND PERIMETER OF ROOF HATCHES, LADDERS, ACCESS DOORS, AND ROOF TOP MECH. EQUIPMENT ETC.		EXISTING ROOF TOP MECHANICAL UNIT
	EXISTING SKYLIGHT		

--- A --- LINE DENOTES LOCATION WHERE MEMBRANE TO TERMINATE UP WALL MIN. 18" MATCH EXISTING

--- B --- LINE DENOTES LOCATION WHERE MEMBRANE TO WRAP OVERTOP OF PARAPET

**GENERAL NOTES**

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. DOOR FRAME INSTALLATION ON ALL AFTER CONTRACT ASSEMBLIES PRIOR TO CONSTRUCTION OF ADJOINING OR RELATED STRUCTURES. WHERE THERE IS DAMAGE TO EXISTING POLY-ISO ROOF INSULATION, REPLACE. PROVIDE UNIT COST. SEE UNIT COST #1.
- C. MINIMUM ROOF SLOPE TO BE 1/4" PER FOOT.
- D. FLASH AND COUNTER FLASH ALL ROOF PENETRATIONS PER SINGLE-PLY MANUFACTURER'S RECOMMENDATIONS.
- E. ALL MECHANICAL UNITS AND ROOF PENETRATIONS MAY NOT BE SHOWN. PROVIDE FLASHING, CRICKETS, AND REGLETS AT EACH UNIT. CRICKETS TO SLOPE 1/4" PER FOOT MINIMUM. SEE TYPICAL ROOF DETAILS.
- F. NEW MECHANICAL CURBS TO BE 8" MINIMUM ABOVE NEAREST HORIZONTAL OR SLOPED ROOF SURFACE.
- G. SLEEPER INSTALLATION NOT PERMITTED AT MECHANICAL UNITS. PROVIDE FULL MECHANICAL CURB DETAILING.
- H. DO NOT SCALE DRAWINGS



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**E1** AREA 'A' ROOF PLAN  
A003 | SCALE: 1/8" = 1'-0"

 233 SOUTH PLEASANT GROVE BLVD. SUITE # 105 PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 FAX: (801) 769-3001 cma@cmuutah.com	DATE: 05/27/2021 PROJECT #: 21-039.7 PROJ. MAN.: CLL CHECKED BY: CLL
	PROJECT: <b>PROVO PEAKS ELEMENTARY - RE-ROOF</b>
PROJECT ADDRESS: 665 E CENTER ST. PROVO, UT 84606 OWNER: Provo City School District	
SHEET DESCRIPTION: AREA 'A' ROOF PLAN	SHEET: <b>A003</b>

BID DOCUMENTS

1

2

3

4

5

6

MARK	REVISION	DATE
1	ADDENDUM #1	6/7/2021

**SHEET NOTES**

- 1.02 EXISTING ROOF DRAIN TO REMAIN.
- 1.08 EXISTING SKYLIGHT TO REMAIN. SKYLIGHT TO BE LIFTED TO ALLOW FOR NEW MEMBRANE TO EXTEND UP AND OVER EXISTING CURB PER DETAILS.
- 1.11 NEW FULLY ADHERED PROTECTIVE ROOFING MATS 4'-0" WIDE AS INDICATED AROUND LADDERS, SKYLIGHTS, ACCESS PATHS, ETC.
- 1.12 NEW SINGLE-PLY ROOFING SYSTEM OVER EXISTING POLY-ISO INSULATION.
- 1.14 EXISTING ROOF CRICKETS.
- 1.28 PROVIDE TURN BAR HALF-WAY UP HIGH PARAPET WALLS TO PREVENT ROOFING MEMBRANE FROM PULLING OUT FROM UNDER PARAPET CAP. SEE REFERENCE IMAGE E2/A007

**ALTERNATES LEGEND**

**ALTERNATE #1** KEEP EXISTING FLASHINGS, DRIP EDGES, AND PARAPET CAPS AND REINSTALL.

**UNIT COST LEGEND**

**UNIT COST #1** PROVIDE UNIT PRICE FOR POLY-ISO INSULATION FOR INSTANCES WHERE EXISTING ROOF INSULATION NEEDS TO BE REPLACED.

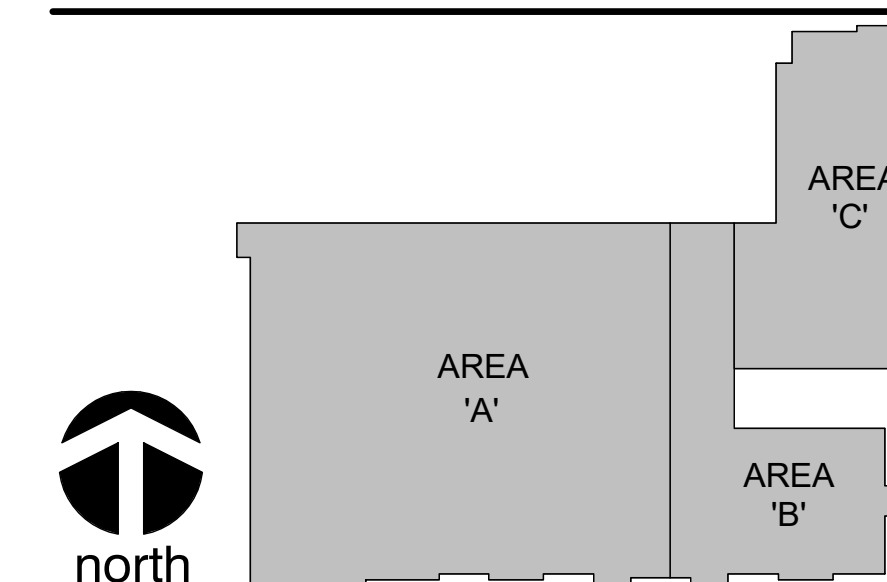
**ROOF TOP LEGEND**

	FIELD CONTOURED		EXISTING ROOF DRAIN
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**GENERAL NOTES**

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- B. SCOREBOARD INSULATIONS ALL AFTER CONTRACT ASSEMBLIES PRIOR TO CONSTRUCTION OF ALLOWING OR RELATED STRUCTURES.
- C. WHERE THERE IS DAMAGE TO EXISTING POLY-ISO ROOF INSULATION, REPLACE. PROVIDE UNIT COST, SEE UNIT COST #1.
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- E. FLASH AND COUNTER FLASH ALL ROOF PENETRATIONS PER SINGLE-PLY MANUFACTURER'S RECOMMENDATIONS.
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**KEY PLAN**



<p><b>CURTIS MINER ARCHITECTURE</b></p>	233 SOUTH PLEASANT GROVE BLVD. SUITE # 105 PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 FAX: (801) 769-3001 cma@cminutah.com	DATE: 05/27/2021 PROJECT #: 21-039.7 PROJ. MAN.: CLL CHECKED BY: CLL
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<b>PROJECT:</b> <b>PROVO PEAKS ELEMENTARY - RE-ROOF</b>	
<b>PROJECT ADDRESS:</b> 665 E CENTER ST. PROVO, UT 84606	<b>OWNER:</b> 
<b>SHEET DESCRIPTION:</b> AREA 'B' ROOF PLAN	<b>SHEET:</b> <b>A004</b>

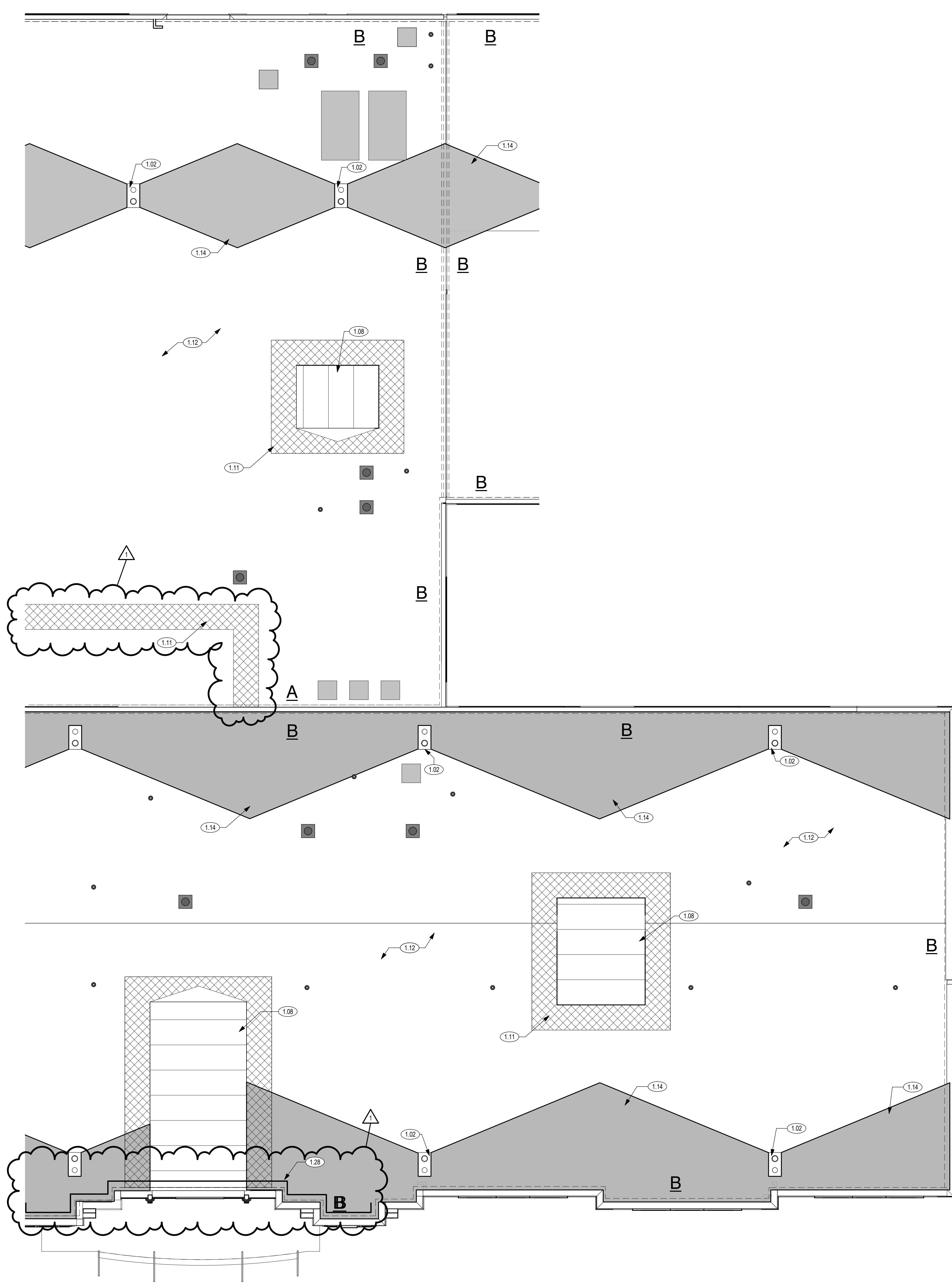
A

B

C

D

E



**E1** AREA 'B' ROOF PLAN  
A004 SCALE: 1/8" = 1'-0"

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**SHEET NOTES**

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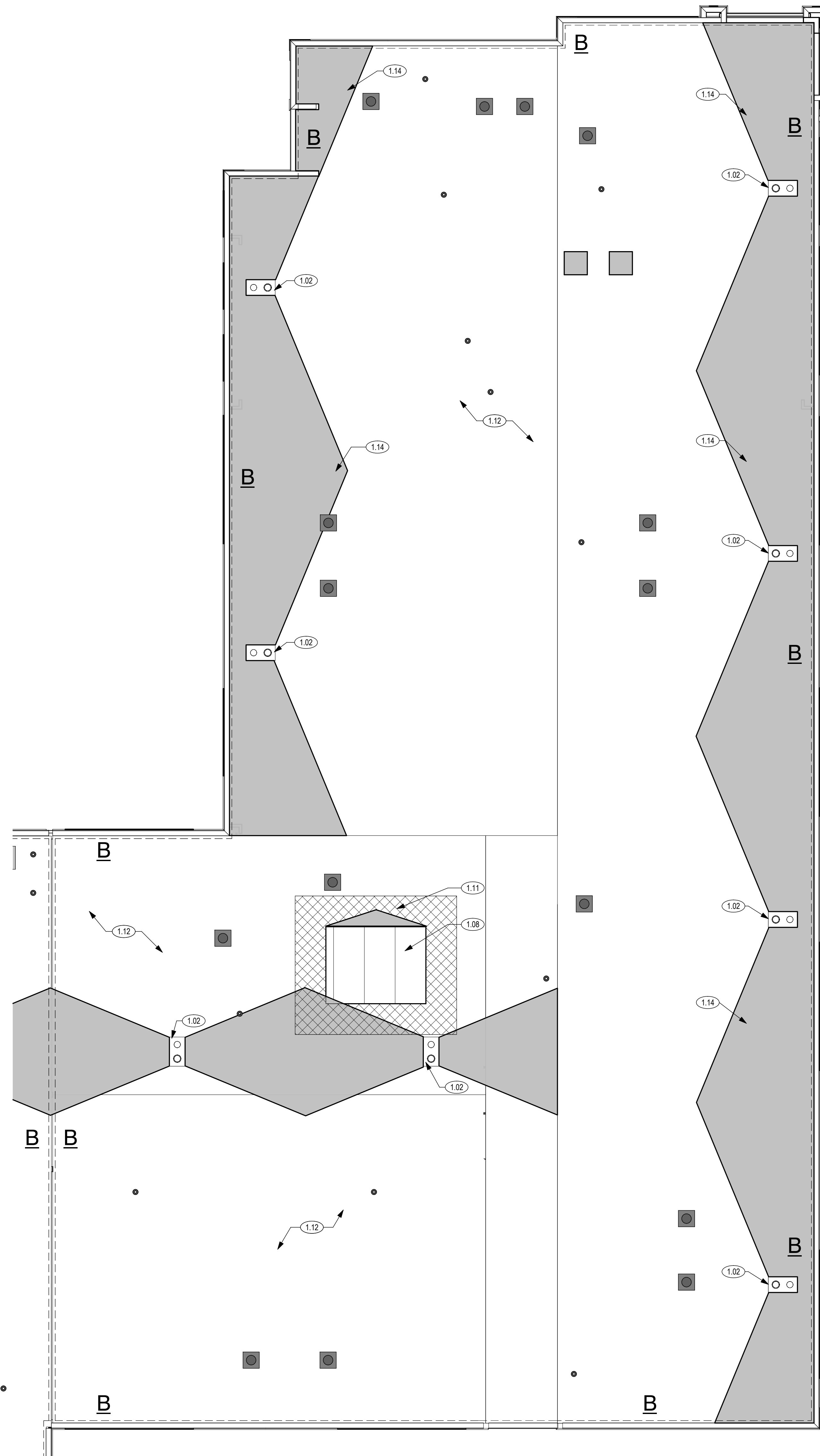
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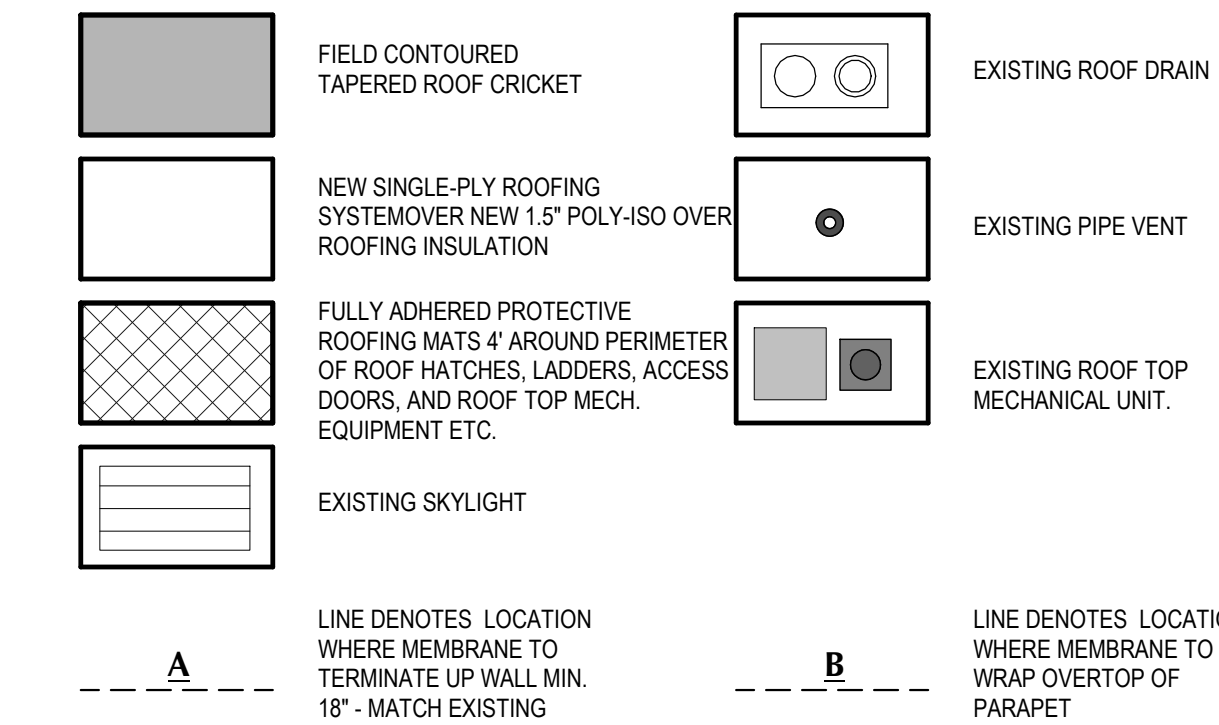
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**ROOF TOP LEGEND**



**ALTERNATES LEGEND**

**ALTERNATE #1** KEEP EXISTING FLASHINGS, DRIP EDGES, AND PARAPET CAPS AND REINSTALL.

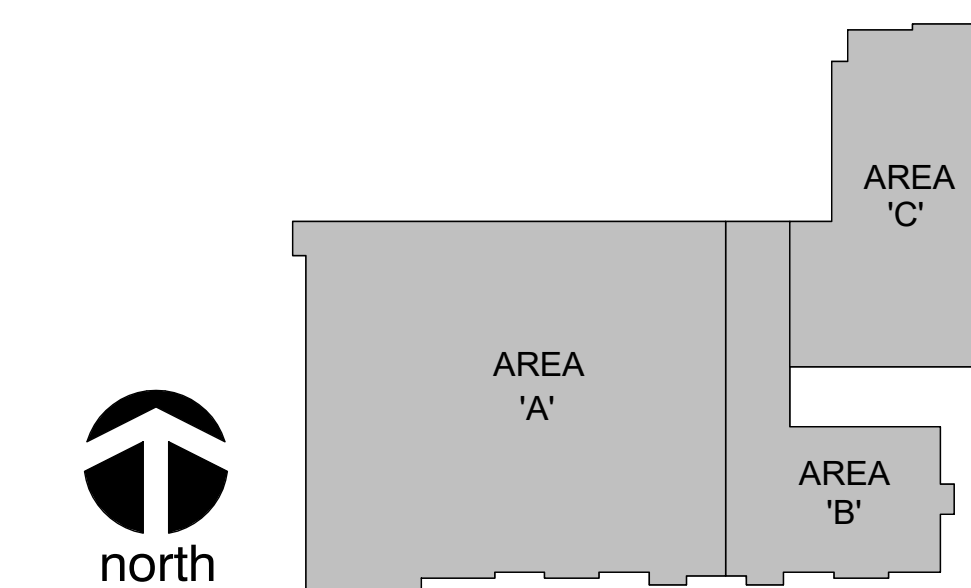
**UNIT COST LEGEND**

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**GENERAL NOTES**

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- H. SLEEPER INSTALLATION NOT PERMITTED AT MECHANICAL UNITS. PROVIDE FULL MECHANICAL CURB DETAILING. DO NOT SCALE DRAWINGS.

**KEY PLAN**



**CURTIS MINER ARCHITECTURE**  
 233 SOUTH PLEASANT GROVE BLVD. SUITE # 105 PLEASANT GROVE, UTAH 84062  
 PHONE: (801) 769-3000 FAX: (801) 769-3001 cma@cminutah.com

DATE: 05/27/2021  
 PROJECT #: 21-038.7  
 PROJ. MAN.: CLL  
 CHECKED BY: CLL

**PROJECT: PROVO PEAKS ELEMENTARY - RE-ROOF**

PROJECT ADDRESS: 665 E CENTER ST. PROVO, UT 84606  
 OWNER: Provo City School District

SHEET DESCRIPTION: AREA 'C' ROOF PLAN  
 SHEET: A005

27 MAY 21