BIM 5/26

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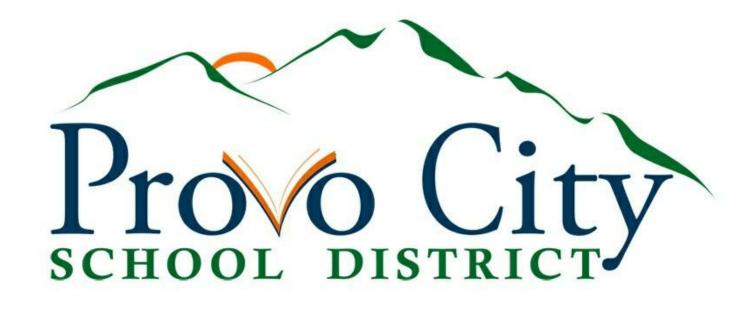
Α

В

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1 3 5





PROVO PEAKS ELEMENTARY - RE-ROOF

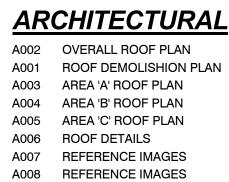
665 E CENTER ST. PROVO, UT 84606 05/27/2021

BID DOCUMENTS

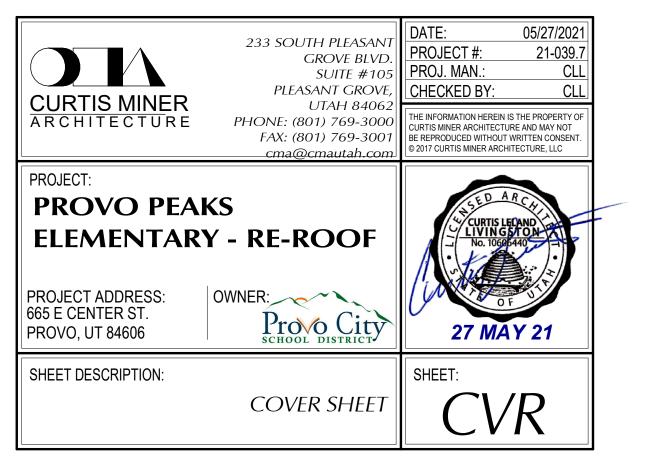


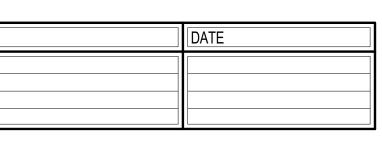
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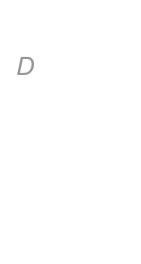


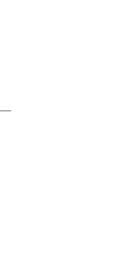


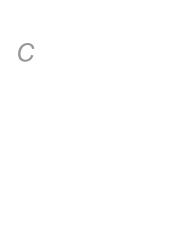




















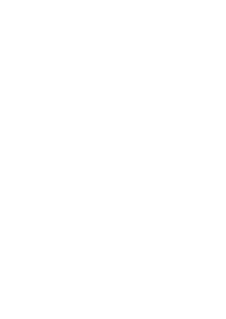






A

В







1





A008

_A008

-(1.14)

/ 1.01

1.14

(1.02)

– RD & OD , TYP

-(1.07)

(1.10 TYP

(E1) ROOF PLAN DEMOLISHED A001 SCALE: 1/16" = 1'-0"

(1.04)-

(1.10) TYP





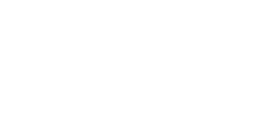






















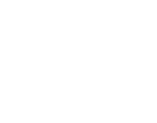




1.02)-















1.14)-

(1.08)-

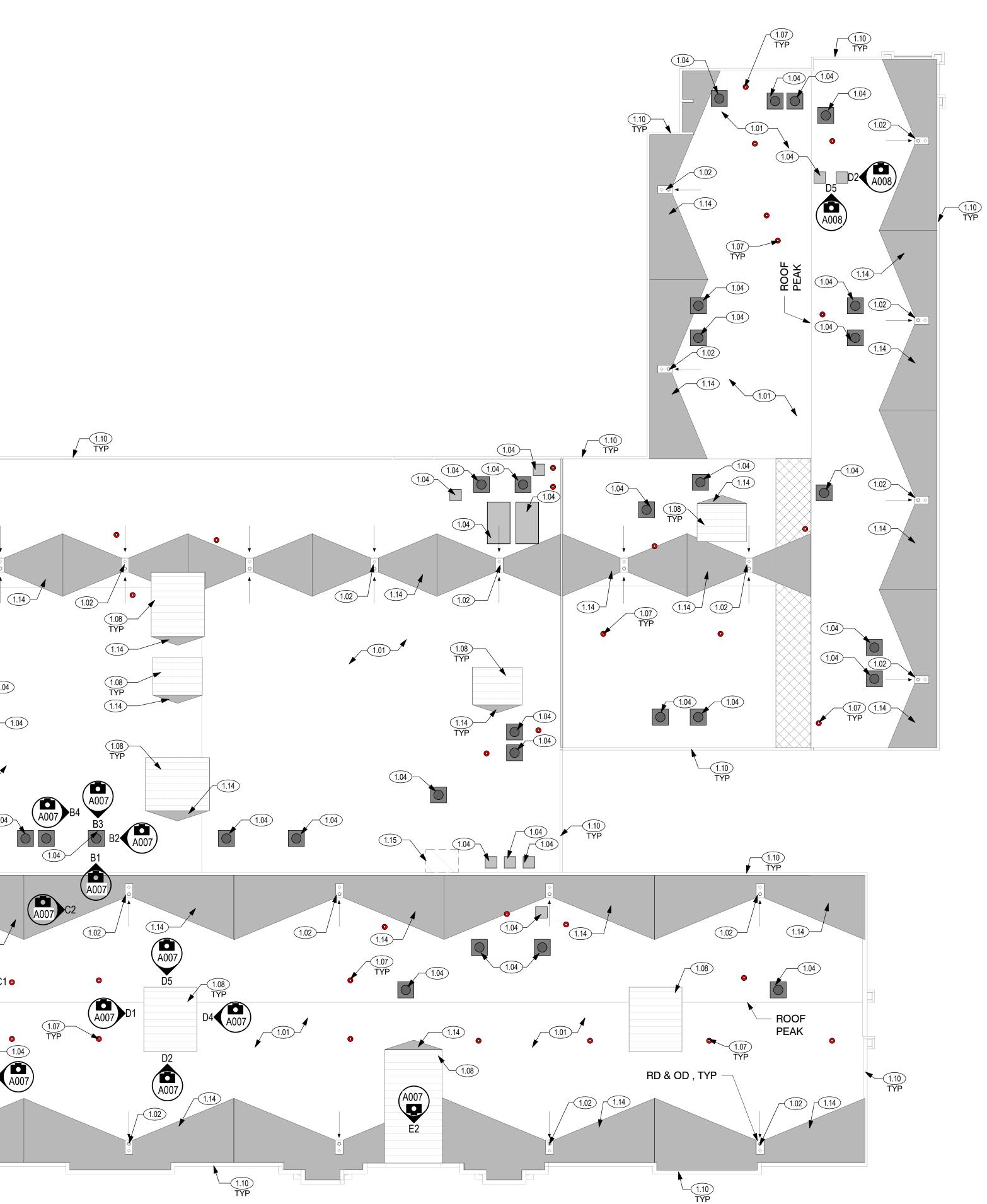
NOTE: EXISTING ROOF LADDER

RD & OD , TYP

C4

A007

(1.10) TYP



3 3

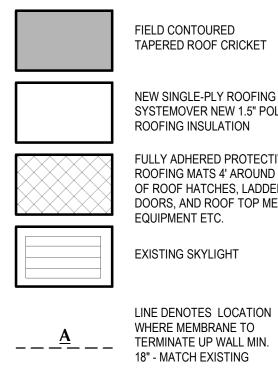
	REVISION

SHEET NOTES

1.01	REMOVE EXISTING R AND BE PREPARED F OVER EXISTING RIGII
1.02	EXISTING ROOF DRA
1.04	EXISTING MECHANIC UNIT TO BE LIFTED TO OVER NEW NAILER A
1.06	EXISTING ROOF ACC
1.07	EXISTING PIPE VENT
1.08	EXISTING SKYLIGHT NEW MEMBRANE TO DETAILS.
1.10	ALL PRE-FINISHED M TO BE REMOVED AND INSTALLED ARCHITED MEMBRANE WRAPS U EXISTING FLASHINGS REINSTALL. SEE TAB
1.14	EXISTING ROOF CRIC
1.15	EXISTING ROOF MAT

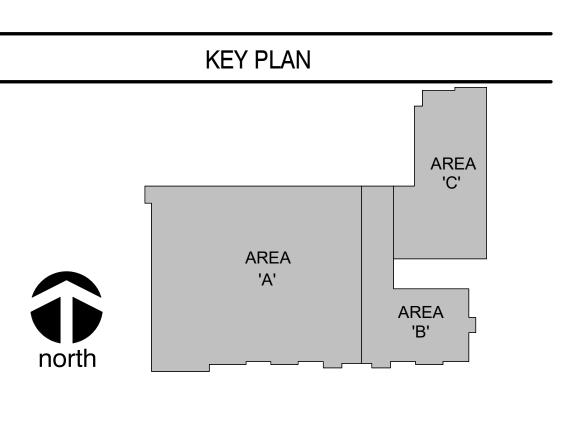
ALTERNATES LEGEND ALTERNATE #1

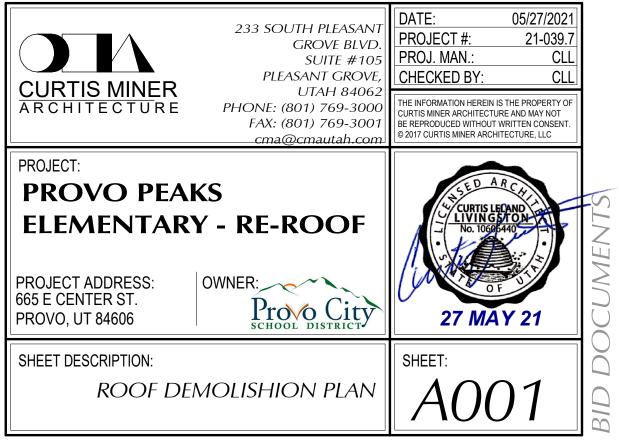
ROOF TOP LEGEND



GENERAL NOTES

CONTRACTOR TO
VENTS, ROOF DRA
WALK-OFF MATS -
OF LADDERS AND
ROOF MOUNTED E
SHEET ARE EXISTI
DISSIMILAR METAL
SHOULD BE PHYSI
CONTRACTORS TO
COVERS. TYPICAL
SPEC AND DETAIL
IT IS THE CONTRA
PIPING, EQUIPMEN



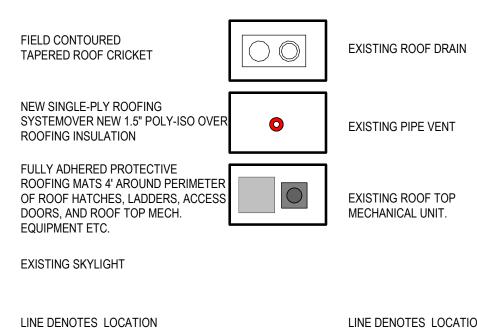


6

DATE

- ROOF MEMBRANE. EXISITNG INSULATION TO REMAIN FOR NEW SINGLE-PLY MEMBRANE ROOFING SYSTEM GID INSULATION.
- RAIN TO REMAIN.
- IICAL ROOF TOP UNIT TO REMAIN. WHERE POSSIBLE, TO ALLOW FOR NEW MEMBRANE TO EXTEND UP AND AND EXISTING CURB PER DETAILS. CCESS LADDER TO REMAIN.
- T TO REMAIN.
- IT TO REMAIN. SKYLIGHT TO BE LIFTED TO ALLOW FOR O EXTEND UP AND OVER EXISITNG CURB PER
- METAL PARAPET CAPS, FLASHINGS AND DRIP EDGES ND REPLACED WITH NEW. BEFORE NEW CAPS ARE FECT AND OWNER SHALL INSPECT THAT NEW S UP AND OVER PARAPET. ALTERNATE # 1: KEEP
- GS , DRIP EDGES AND PARAPET CAPS AND
- ABLE BELOW . ICKETS.
- T TO BE REMOVED.

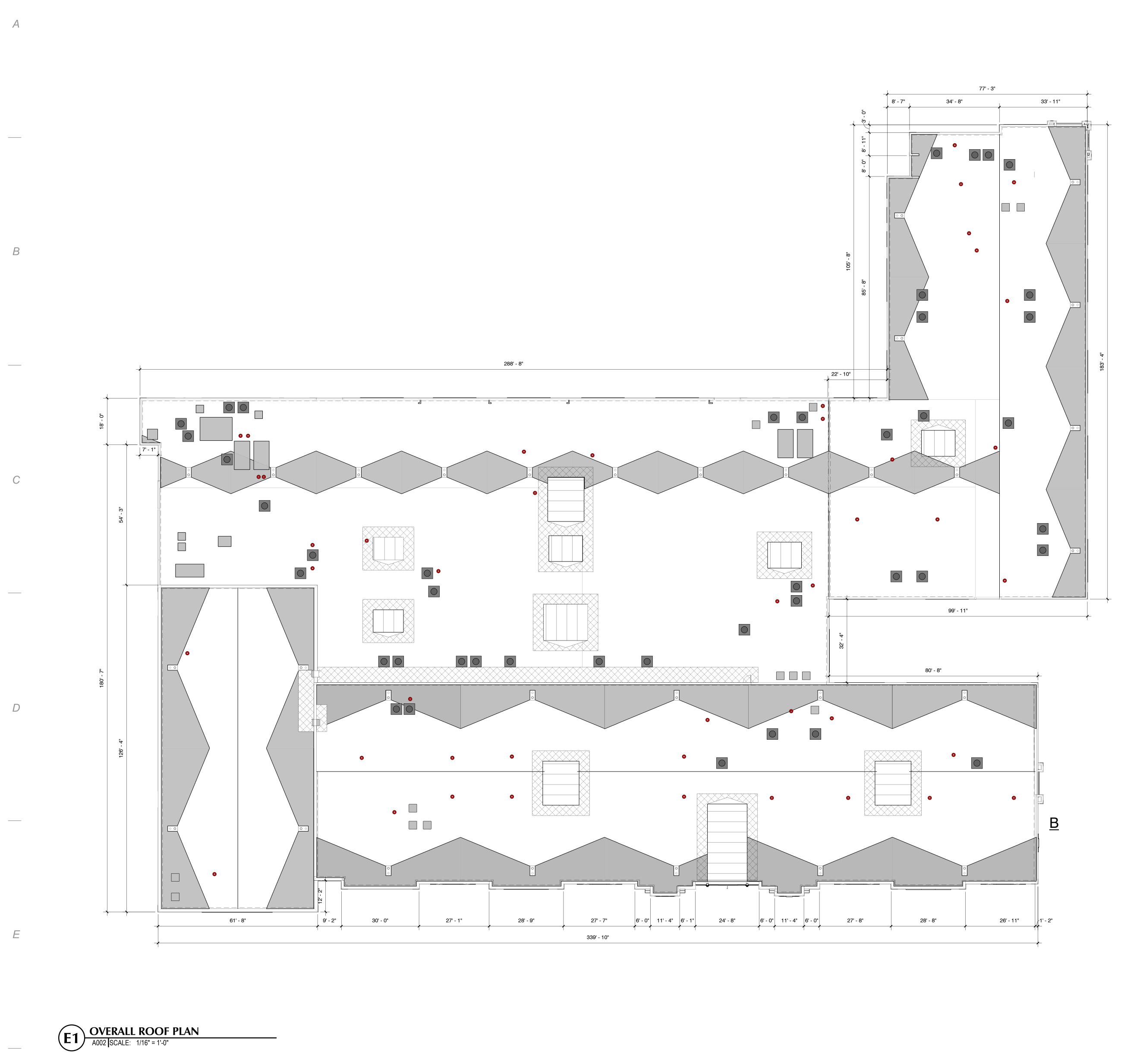
KEEP EXISTING FLASHINGS, DRIP EDGES , AND PARAPET CAPS AND REINSTALL.



LINE DENOTES LOCATION WHERE MEMBRANE TO WRAP OVERTOP OF PARAPET

- O FIELD VERITY ALL DIMENSIONS, JOBS CONDITIONS, RAINS, PIPE AND MECHANICAL UNIT LOCATIONS. - PROVIDE AND INSTALL 36" X 48" PADS AT BOTHS SIDES
- ROOF HATCHES. EQUIPMENT AND PENETRATIONS SHOWN ON THIS TING AND WILL REMAIN.
- L TYPES SUBJECT TO ELECTROLYTIC REACTION SICALLY SEPARATED.
- O REMOVE EXISTING EXPANSION JOINTS AND JOINT IN PREPARATION FOR NEW EXPANSION JOINTS PER
- RACTORS RESPONSIBLITY TO PROTECT EXISTING, ROOF ENT, ETC THAT IS TO REMAIN. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PATCH REPAIR OR REPLACE ANY DAMAGED ITEMS DURING CONSTRUCTION.





1 3 6

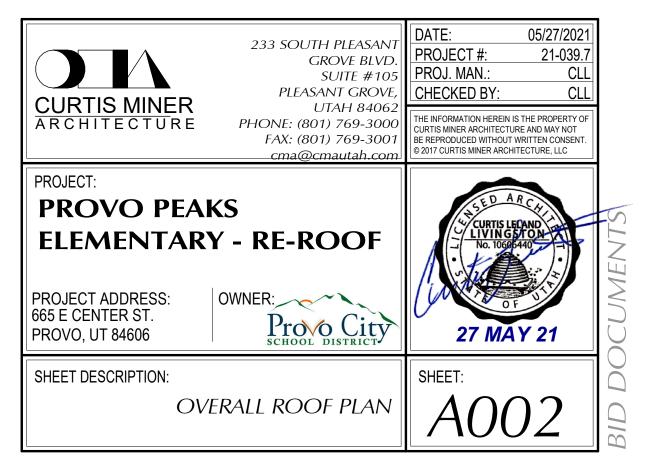
ROOF TOP LEGEND FIELD CONTOURED TAPERED ROOF CRICKE

> NEW SINGLE-PLY ROOF SYSTEMOVER NEW 1.5" I ROOFING INSULATION FULLY ADHERED PROTE ROOFING MATS 4' AROL OF ROOF HATCHES, LAI DOORS, AND ROOF TOF EQUIPMENT ETC. EXISTING SKYLIGHT LINE DENOTES LOCATION WHERE MEMBRANE TO _ _ _A_ _ TERMINATE UP WALL MIN. 18" - MATCH EXISTING

> > **GENERAL NOTES**

A.	GENERAL CONTRACTOR S AND ASSEMBLIES PRIOR T DISCREPANCIES TO THE A
В.	COORDINATE INSTALLATIO
C.	PRIOR TO CONSTRUCTION MINIMUM ROOF SLOPE TO
D.	FLASH AND COUNTER FLA
_	MANUFACTURER'S RECOM
E.	ALL MECHANICAL UNITS AI PROVIDE FLASHING, CRICH
	TO SLOPE 1/4" PER FOOT M
F.	NEW MECHANICAL CURBS
G.	HORIZONTAL OR SLOPED SLEEPER INSTALLATION N
	PROVIDE FULL MECHANIC
Н	DO NOT SCALE DRAWINGS

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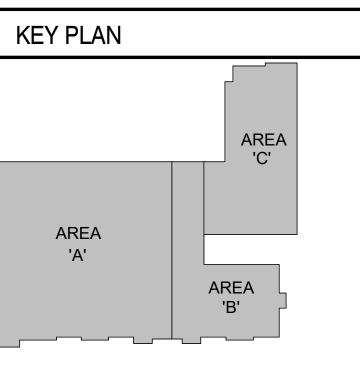
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ALTERNATES LEGEND ALTERNATE #1 KEEP EXISTING FLASHINGS, DRIP EDGES, AND PARAPET CAPS AND REINSTALL.

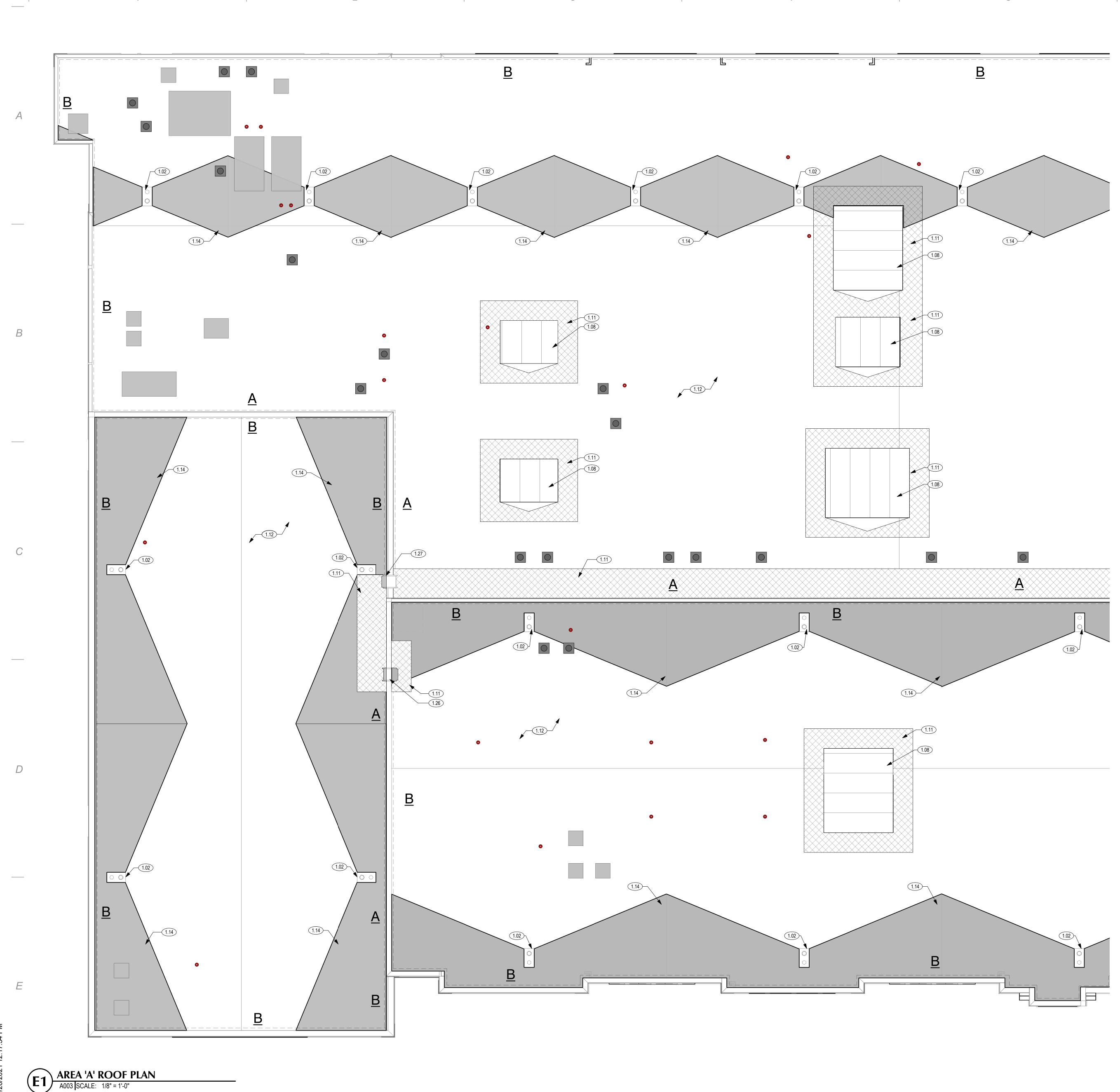
KET	EXISTING ROOF DRAIN
DFING 5" POLY-ISO OVER O	EXISTING PIPE VENT
TECTIVE DUND PERIMETER ADDERS, ACCESS DP MECH.	EXISTING ROOF TOP MECHANICAL UNIT.
TION O <u>B</u>	LINE DENOTES LOCATION WHERE MEMBRANE TO WRAP OVERTOP OF DARADET

PARAPET

- SHALL VERIFY ALL CONDITIONS, DIMENSIONS, TO CONSTRUCTION. REPORT ANY SIGNIFICANT ARCHITECT. TION OF ALL "AFTER CONTRACT" ASSEMBLIES ON OF ADJOINING OR RELATED STRUCTURES. BE 1/4" PER FOOT. ASH ALL ROOF PENETRATIONS PER SINGLE-PLY MMENDATIONS. AND ROOF PENETRATIONS MAY NOT BE SHOWN. CKETS, AND REGLETS AT EACH UNIT. CRICKETS
- MINIMUM. SEE TYPICAL ROOF DETAILS. S TO BE 8" MINIMUM ABOVE NEAREST D ROOF SURFACE.
- NOT PERMITTED AT MECHANICAL UNITS. ICAL CURB DETAILING.







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	NRK	REVISION	
<u>SHEE</u>	<u>T N</u>	<u>OTES</u>	
1.02	EXIS	TING ROOF	DRA
1.08		TING SKYLI	
	-		3RAN
	DET	4ILS.	

INSULATION.

B5 & B6 ON A007.

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ALTERNATES LEGEND

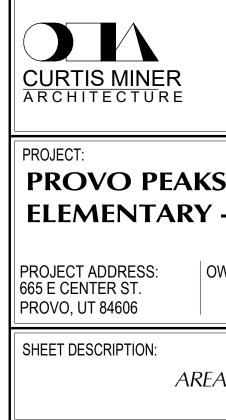
ROOF TOP LEGEND

	FIELD CONTOURED TAPERED ROOF CRICKET
	NEW SINGLE-PLY ROOFIN SYSTEMOVER NEW 1.5" PC ROOFING INSULATION
	FULLY ADHERED PROTEC ROOFING MATS 4' AROUN OF ROOF HATCHES, LADD DOORS, AND ROOF TOP M EQUIPMENT ETC.
	EXISTING SKYLIGHT
<u>A</u>	LINE DENOTES LOCATION WHERE MEMBRANE TO TERMINATE UP WALL MIN. 18" - MATCH EXISTING

GENERAL NOTES

A.	GENERAL CONTRACTOR SHA AND ASSEMBLIES PRIOR TO C DISCREPANCIES TO THE ARC
В.	COORDINATE INSTALLATION (PRIOR TO CONSTRUCTION OF
C.	MINIMUM ROOF SLOPE TO BE
D.	FLASH AND COUNTER FLASH
	MANUFACTURER'S RECOMME
E.	ALL MECHANICAL UNITS AND
	PROVIDE FLASHING, CRICKET
	TO SLOPE 1/4" PER FOOT MIN
F.	NEW MECHANICAL CURBS TO
	HORIZONTAL OR SLOPED RO
G.	SLEEPER INSTALLATION NOT
	PROVIDE FULL MECHANICAL
Н	DO NOT SCALE DRAWINGS





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DATE

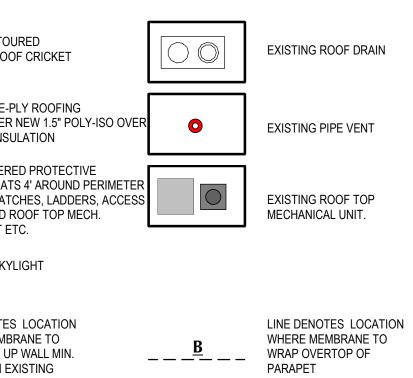
RAIN TO REMAIN. T TO REMAIN. SKYLIGHT TO BE LIFTED TO ALLOW ANE TO EXTEND UP AND OVER EXISITNG CURB PER

1.11 NEW FULLY ADHEARED PROTECTIVE ROOFING MATS 4'-0" WIDE AS INDICATED AROUND LADDERS, SKYLIGHTS, ACCESS PATHS, ETC. 1.12 NEW SINGLE-PLY ROOFING SYSTEM OVER EXISTING POLY-ISO

1.14 EXISTING ROOF CRICKETS.

EXISTING LADDER TO BE REMOVED AND RE-MOUNTED UP ONE MASONRY COURSE SO THAT ATTACHMENTS TO WALL DO NOT PENETRATE FLASHINGS OR PARAPET CAP. SEE REFERENCE IMAGES 1.27 EXISTING LADDER TO REMAIN

ALTERNATE #1 KEEP EXISTING FLASHINGS, DRIP EDGES , AND PARAPET CAPS AND REINSTALL.



ACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT O THE ARCHITECT.

TALLATION OF ALL "AFTER CONTRACT" ASSEMBLIES RUCTION OF ADJOINING OR RELATED STRUCTURES. OPE TO BE 1/4" PER FOOT.

TER FLASH ALL ROOF PENETRATIONS PER SINGLE-PLY RECOMMENDATIONS. UNITS AND ROOF PENETRATIONS MAY NOT BE SHOWN.

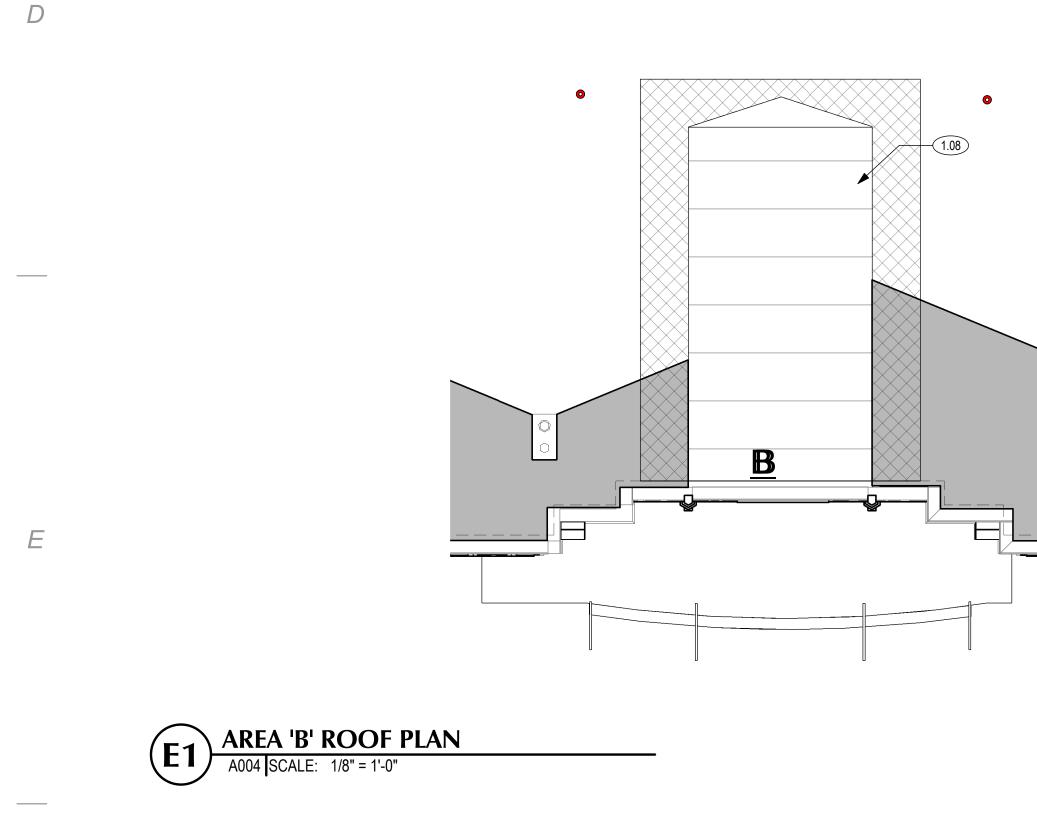
G, CRICKETS, AND REGLETS AT EACH UNIT. CRICKETS R FOOT MINIMUM. SEE TYPICAL ROOF DETAILS. L CURBS TO BE 8" MINIMUM ABOVE NEAREST

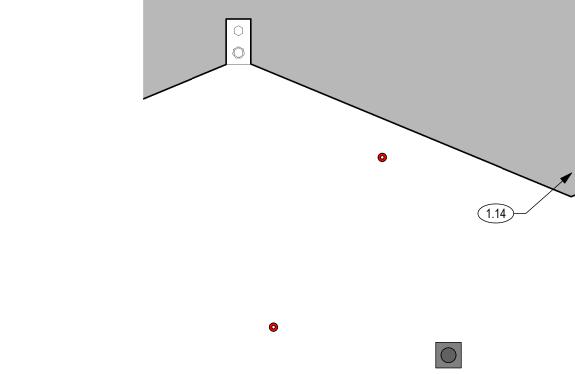
LOPED ROOF SURFACE. LATION NOT PERMITTED AT MECHANICAL UNITS. ECHANICAL CURB DETAILING.

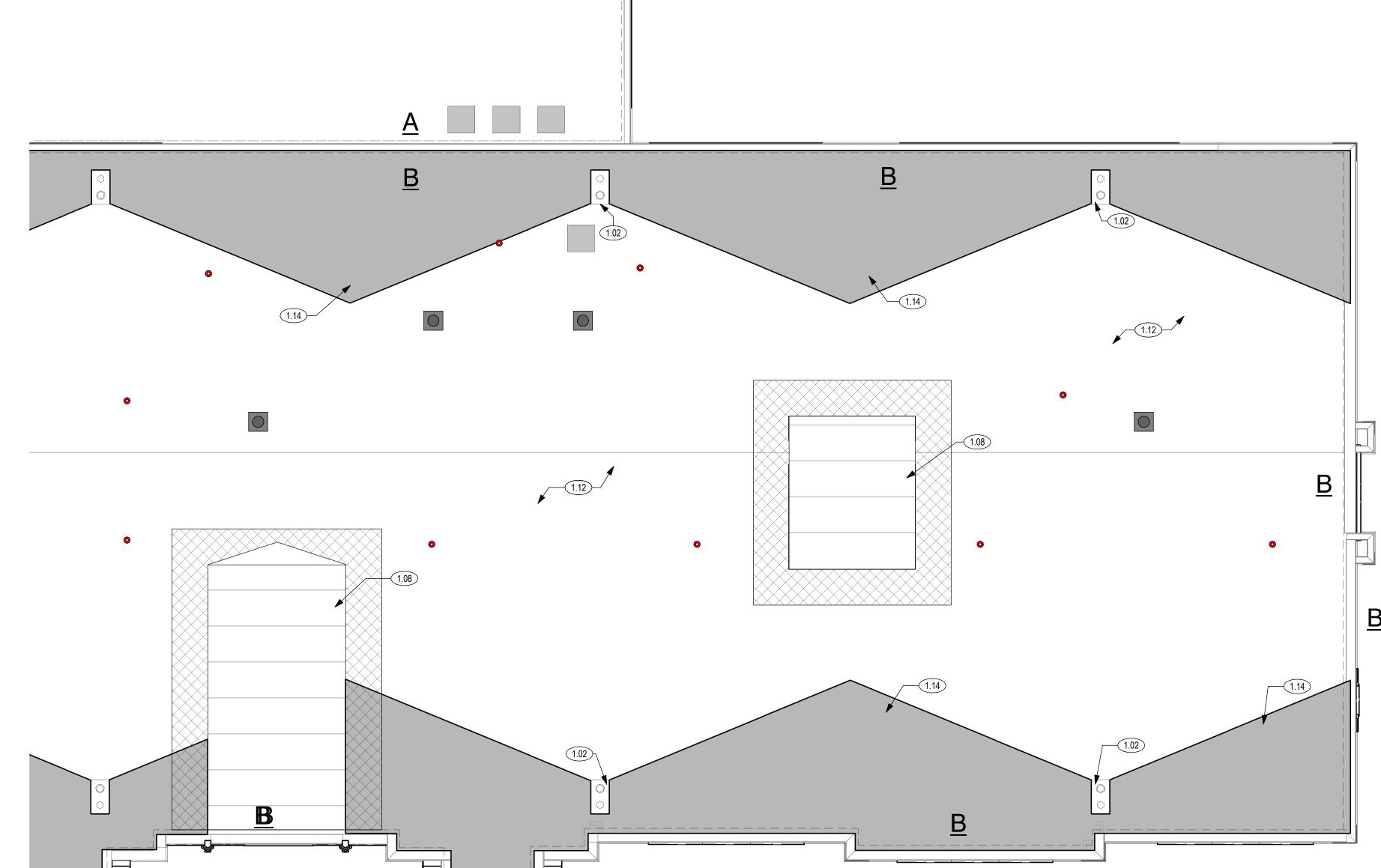
AREA 'C' AREA 'A' AREA 'B'

233 SOUTH PLEASANT GROVE BLVD. SUITE #105 PLEASANT GROVE, UTAH 84062	DATE: 05/27/2021 PROJECT #: 21-039.7 PROJ. MAN.: CLL CHECKED BY: CLL	
PHONE: (801) 769-3000 FAX: (801) 769-3001 cma@cmautah.com	THE INFORMATION HEREIN IS THE PROPERTY OF CURTIS MINER ARCHITECTURE AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT. © 2017 CURTIS MINER ARCHITECTURE, LLC	
S - RE-ROOF	LIVINGEAND LIVINGEAND No. 10606440 	DCUMENTS
A 'A' ROOF PLAN	SHEET: A003	BID DC

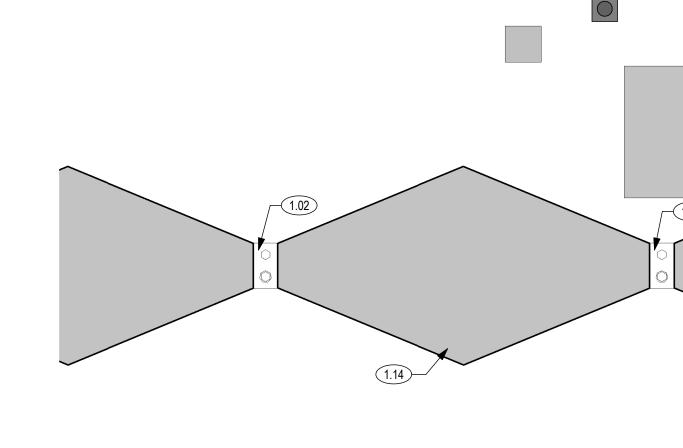












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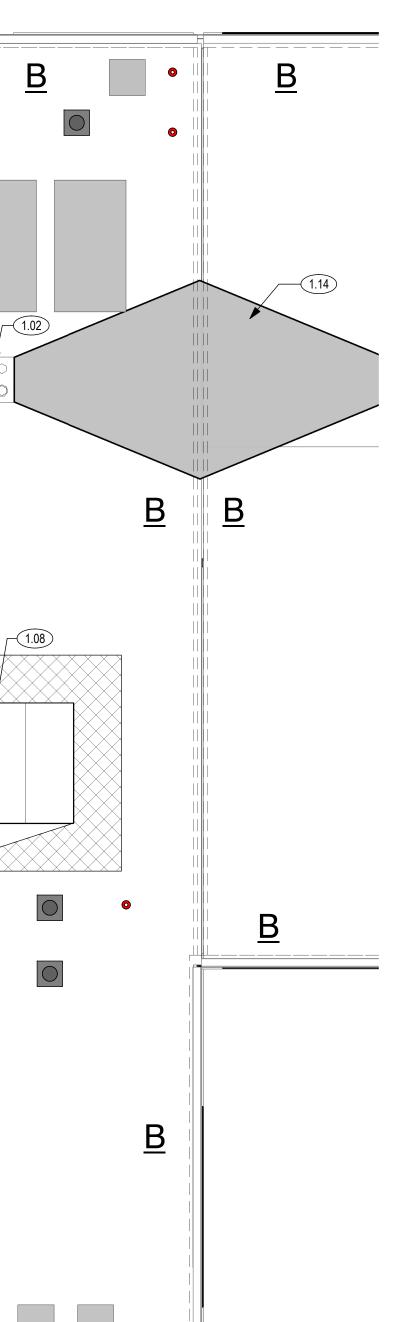
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MARK	REVISION

<u>SHEET NOTES</u>

1.02	EXISTING ROOF DRAIN
1.08	EXISTING SKYLIGHT TO
	NEW MEMBRANE TO EX
1.12	NEW SINGLE-PLY ROOF
1.14	EXISTING ROOF CRICK

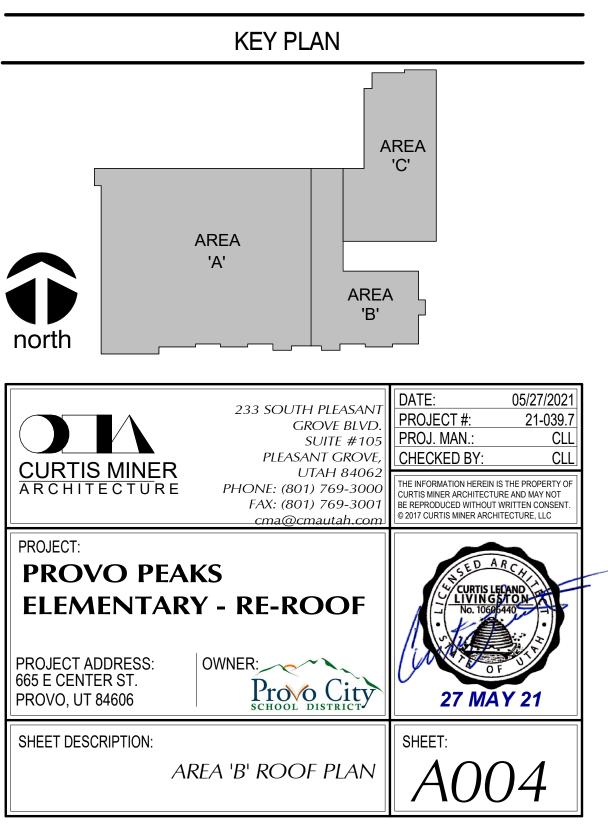
ALTERNATES LEGEND ALTERNATE #1

ROOF TOP LEGEND

	FIELD CONTOU TAPERED ROO
	NEW SINGLE-P SYSTEMOVER ROOFING INSU
	FULLY ADHERE ROOFING MATS OF ROOF HATC DOORS, AND R EQUIPMENT ET
	EXISTING SKYL
<u>A</u>	LINE DENOTES WHERE MEMBF TERMINATE UP 18" - MATCH EX

GENERAL NOTES

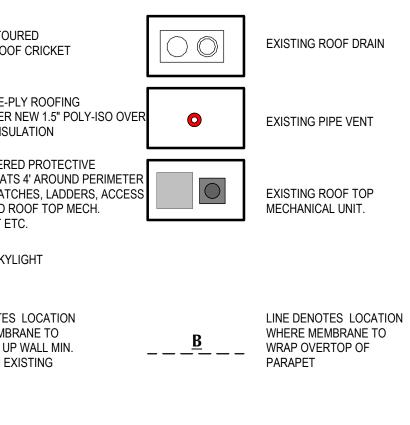
A.	GENERAL CONTRACT AND ASSEMBLIES PRI DISCREPANCIES TO T
В.	COORDINATE INSTAL
C.	MINIMUM ROOF SLOP
D.	FLASH AND COUNTER MANUFACTURER'S RE
E.	ALL MECHANICAL UNI PROVIDE FLASHING, (TO SLOPE 1/4" PER FC
F.	NEW MECHANICAL CL HORIZONTAL OR SLC
G.	SLEEPER INSTALLATI PROVIDE FULL MECH
Н	DO NOT SCALE DRAW



DATE

N TO REMAIN. TO REMAIN. SKYLIGHT TO BE LIFTED TO ALLOW FOR EXTEND UP AND OVER EXISITNG CURB PER DETAILS. DFING SYSTEM OVER EXISTING POLY-ISO INSULATION. KETS.

KEEP EXISTING FLASHINGS, DRIP EDGES , AND PARAPET CAPS AND REINSTALL.



- CTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT O THE ARCHITECT. ALLATION OF ALL "AFTER CONTRACT" ASSEMBLIES UCTION OF ADJOINING OR RELATED STRUCTURES. OPE TO BE 1/4" PER FOOT. ER FLASH ALL ROOF PENETRATIONS PER SINGLE-PLY RECOMMENDATIONS. JNITS AND ROOF PENETRATIONS MAY NOT BE SHOWN.
- , CRICKETS, AND REGLETS AT EACH UNIT. CRICKETS FOOT MINIMUM. SEE TYPICAL ROOF DETAILS.
- CURBS TO BE 8" MINIMUM ABOVE NEAREST LOPED ROOF SURFACE. ATION NOT PERMITTED AT MECHANICAL UNITS.
- CHANICAL CURB DETAILING. WINGS

BIM 5/26

_____ E (E1) AREA 'C' ROOF PLAN A005 SCALE: 1/8" = 1'-0"

0 <u>B</u> <u>B</u> 0 B

<u>B</u> 0

-(1.12)-

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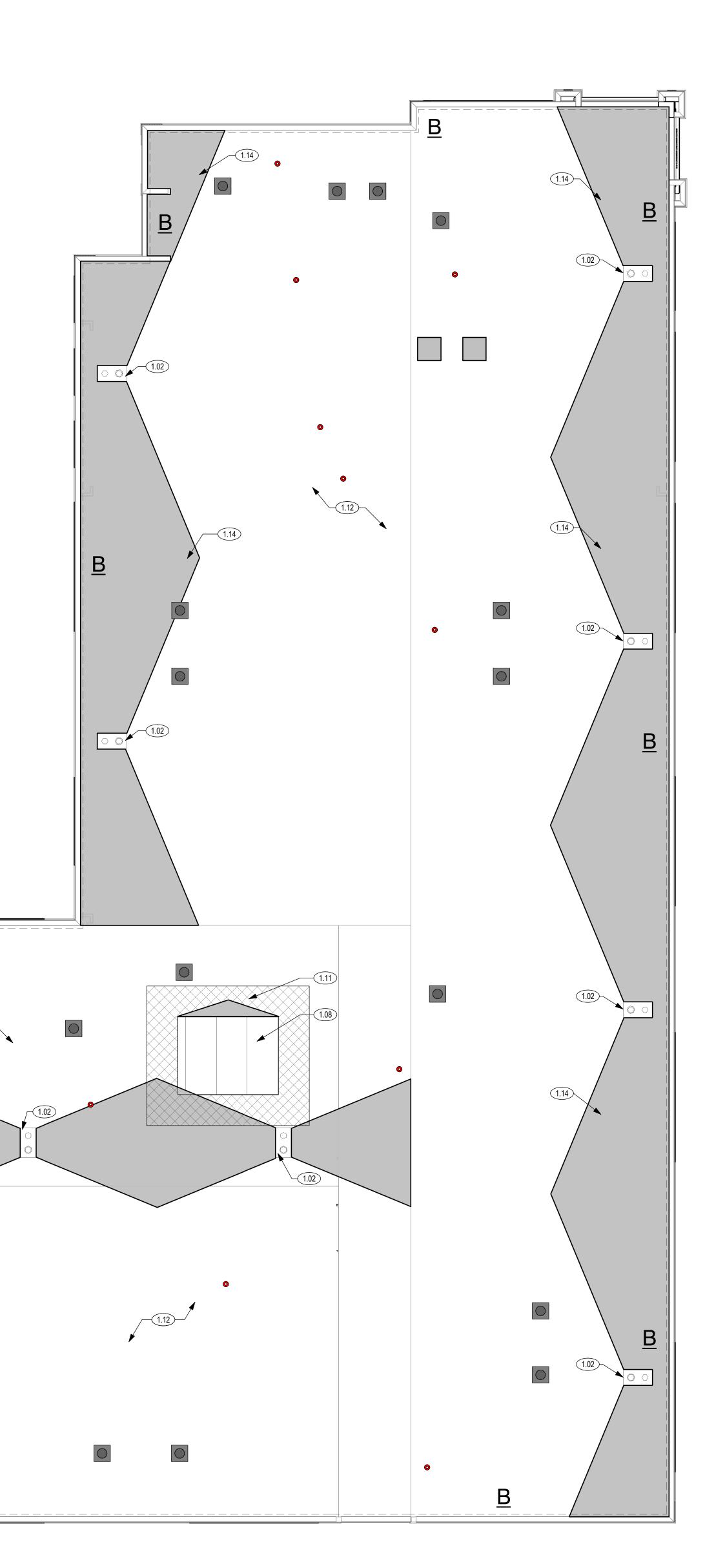
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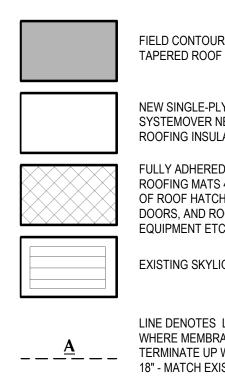
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	REVISION	
•		
SHEET NOTES		

<u>SHE</u>	<u>EI NOIES</u>
1.02	EXISTING ROOF DRA
1.08	EXISTING SKYLIGHT
	FOR NEW MEMBRAN
	DETAILS.
1.11	NEW FULLY ADHEAF
	INDICATED AROUND
1.12	NEW SINGLE-PLY RO
	INSULATION.
1.14	EXISTING ROOF CRI

ROOF TOP LEGEND

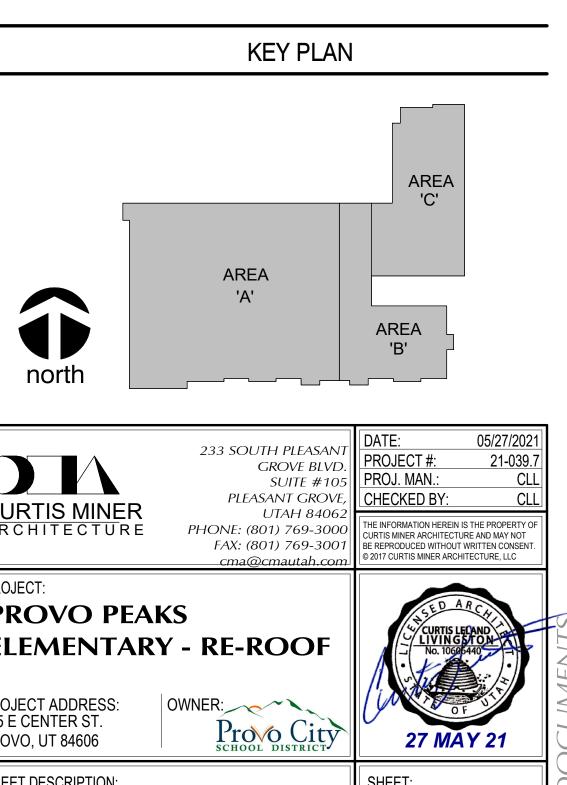


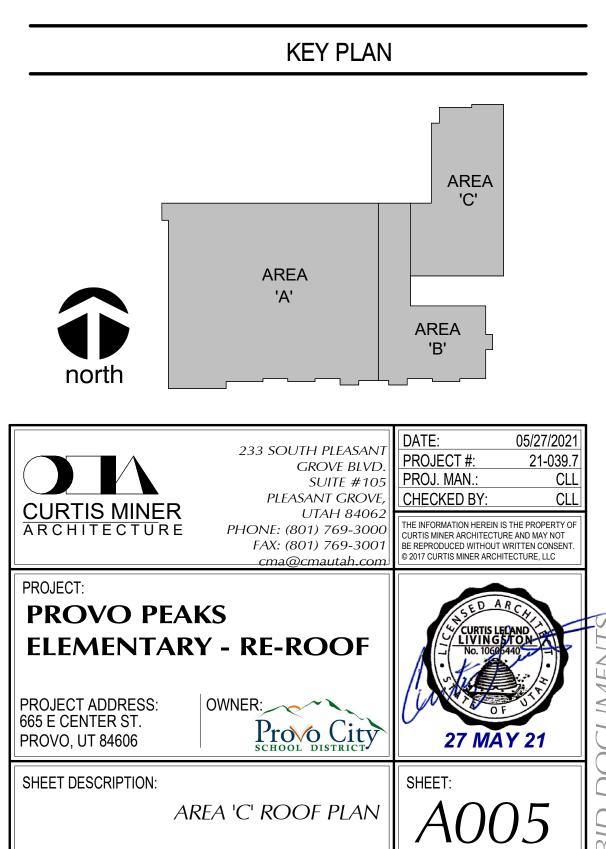
ALTERNATES LEGI

ALTERNATE #1

GENERAL NOTE

Α.	GENERAL CONTRACTOR SH
	AND ASSEMBLIES PRIOR TO
	DISCREPANCIES TO THE ARC
В.	COORDINATE INSTALLATION
	PRIOR TO CONSTRUCTION C
C.	MINIMUM ROOF SLOPE TO B
D.	FLASH AND COUNTER FLASH
	MANUFACTURER'S RECOMM
E.	ALL MECHANICAL UNITS AND
	PROVIDE FLASHING, CRICKE
	TO SLOPE 1/4" PER FOOT MI
F.	NEW MECHANICAL CURBS T
	HORIZONTAL OR SLOPED R
G.	SLEEPER INSTALLATION NO
	PROVIDE FULL MECHANICAL
Н	DO NOT SCALE DRAWINGS





DATE

RAIN TO REMAIN. T TO REMAIN. SKYLIGHT TO BE LIFTED TO ALLOW ANE TO EXTEND UP AND OVER EXISITNG CURB PER

ARED PROTECTIVE ROOFING MATS 4'-0" WIDE AS ND LADDERS, SKYLIGHTS, ACCESS PATHS, ETC. ROOFING SYSTEM OVER EXISTING POLY-ISO

RICKETS.

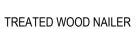
URED DF CRICKET	$\bigcirc \bigcirc$	EXISTING ROOF DRAIN
PLY ROOFING R NEW 1.5" POLY-ISO OVER ULATION	•	EXISTING PIPE VENT
ED PROTECTIVE IS 4' AROUND PERIMETER CHES, LADDERS, ACCESS ROOF TOP MECH. TC.		EXISTING ROOF TOP MECHANICAL UNIT.
′LIGHT		
S LOCATION BRANE TO P WALL MIN. XISTING	<u>B</u>	LINE DENOTES LOCATION WHERE MEMBRANE TO WRAP OVERTOP OF PARAPET
SEND KEEP EXISTING FLASHIN EDGES , AND PARAPET C	•	
REINSTÄLL.		
ES		
OR SHALL VERIFY AL OR TO CONSTRUCTION IE ARCHITECT. ATION OF ALL "AFTE TON OF ADJOINING OF TO BE 1/4" PER FOO FLASH ALL ROOF PE COMMENDATIONS. S AND ROOF PENET RICKETS, AND REGL DT MINIMUM. SEE TY RBS TO BE 8" MINIMU PED ROOF SURFACE N NOT PERMITTED A NICAL CURB DETAIL	ON. REPORT ANY R CONTRACT" AS OR RELATED STR OT. INETRATIONS PE RATIONS MAY NO ETS AT EACH UN (PICAL ROOF DET JM ABOVE NEARE	SIGNIFICANT SEMBLIES OUCTURES. R SINGLE-PLY DT BE SHOWN. IT. CRICKETS TAILS. EST



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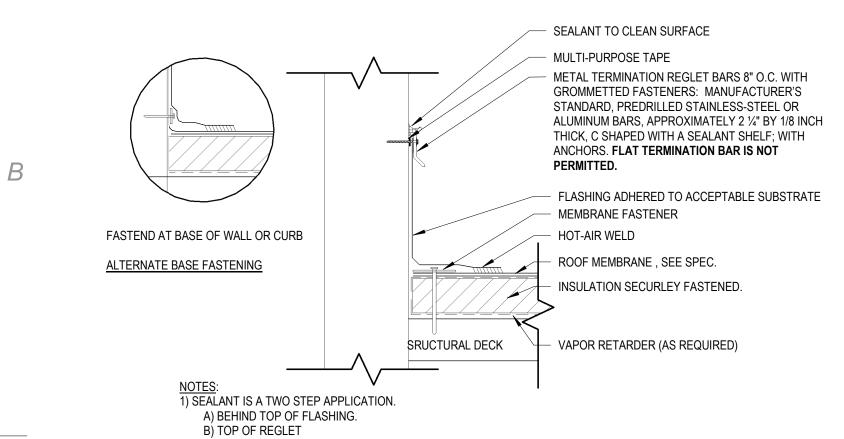
FLASHING STRIP SECURLEY ANCHORED



(B2)

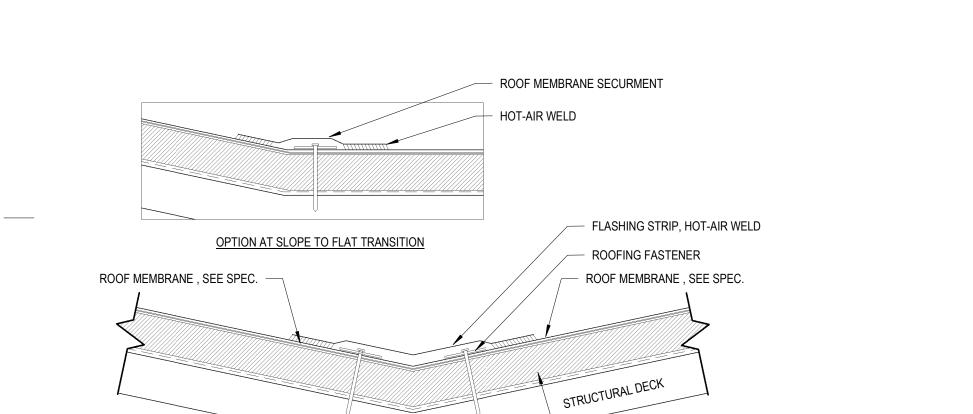
- METAL COPING CAP WITH WATERTIGHT JOINTS - SELF ADHERED FLASHING CONTINUOUS METAL HOOK STRIP. (MIN. 22 GAGE) - ALUMINUM TAPE MULTI PURPOSE TAPE COUNTERFLASHING - FLASHING MEMBRANE FASTEND AT BASE OF WALL OR CURB - ROOF MEMBRANE FASTENER HOT-AIR WELD ALTERNATE BASE FASTENING ROOFING MEMBRANE EQUIPMENT PAD SRUCTURAL DECK INSULATION SECURLEY FASTENED. 3) VAPOR BARRIER SHALL BE SEALED AT EDGES. VAPOR RETARDER (AS REQUIRED)





2) SEALANT SHALL BE APPLIED TO CLEAN ACCEPTABLE SURFACES. 3) SEALANT IS A MAINTENANCE ITEM. MAINTENANCE IS NOT COVERED UNDER THE WARRANTY 4) REGLET SHALL BE SECURLEY ANCHORED WITH GROMMETTED FASTENERS AND PROVIDE ADEQUATE COMPRESSION OF MEMBRANE FLASHING AND SEALANT. 5) VAPOR RETARDER SHALL BE SEALED AT EDGES.



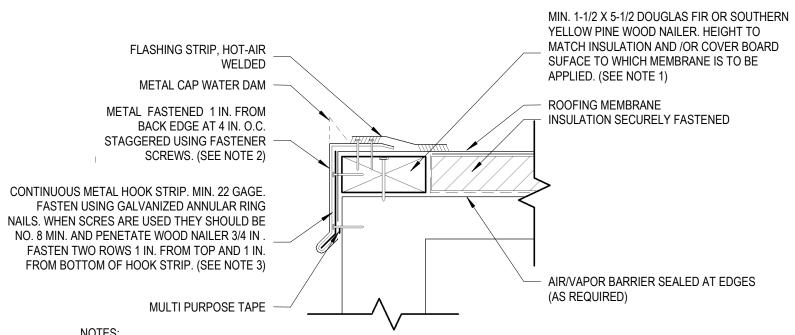


INSULATION SECURLEY FASTENED.

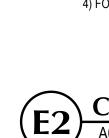
1) WOOD NAILER TO MATCH HEIGHT OF INSULATION MAY BE REQUIRED AT VALLEY IF INSULATION THICKNESS EXCEEDS 2 INCHES. 2) VAPOR RETARDER SHALL BE SEALED AT EDGES.

NOTES:





1) WOOD NAILERS SHALL BE ATTACHED ACCORDING TO THE DESIGNERS SPEC. OR LOCAL CODE, WHIHCEVER IS MORE STRINGENT. 2) MAXIMUM "L" DIMENSIONS SHALL BE 7 IN. FOR F.M. 1-60, AND 5 IN. FOR F.M. 1-90 SYSTEMS. 3) WITHDRAWAL RESISTANCE SHOULD BE 100 LB PER NAIL MIN. FOR HOOK STRIP. ANNULAR RING NAILS SHOULD PENETRATE 1-1/4 IN. INTO NAILER. 4) EXISTING WOOD NAILERS SHALL BE SECURED PER FACTORY MUTUAL LOSS PREVENTION DATA SHEET 1-49 RECOMMENDATIONS. 5) FOLLOW FACTORY MUTUAL LOSS PREVENTION DATA SHEET 1-49 RECOMMENDATIONS. 6) POSITION THE ROOFING MEMBRANE (NON-FELTED) OVER THE ROOF EDGE AND DOWN THE OUTSIDE FACE OF WALL, COVERING TREATED WOOD NAILER(S) COMPLETELY.

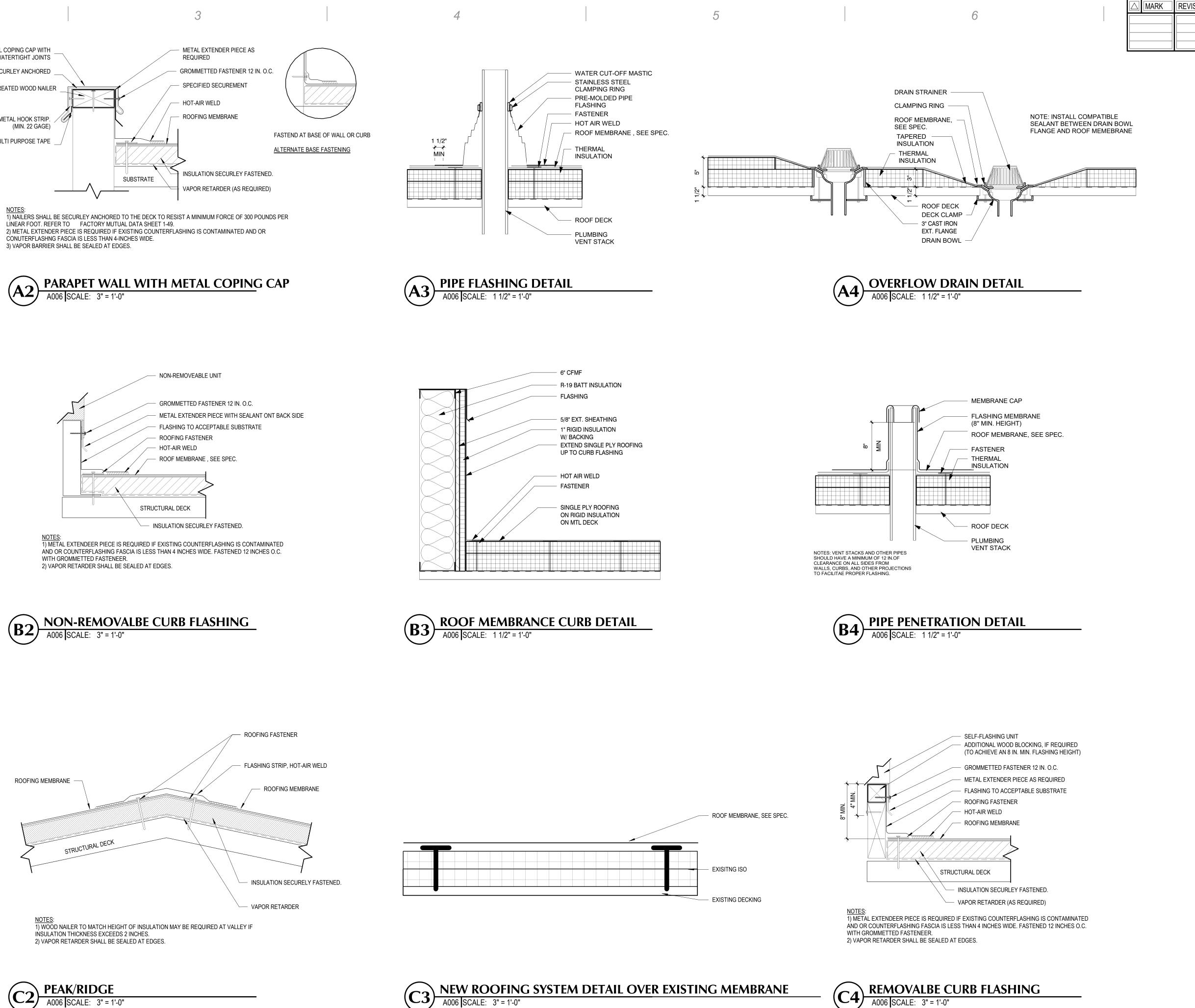


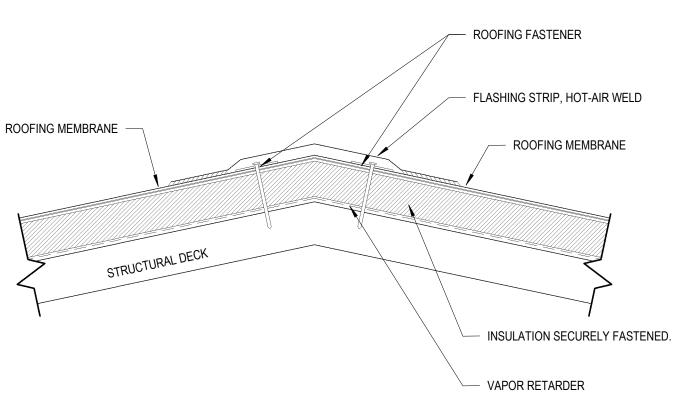
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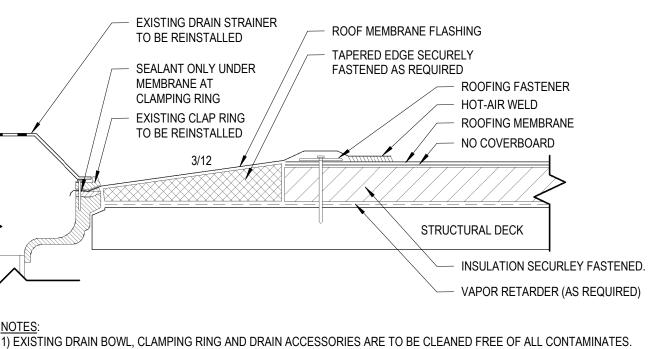




INSULATION THICKNESS EXCEEDS 2 INCHES. 2) VAPOR RETARDER SHALL BE SEALED AT EDGES.

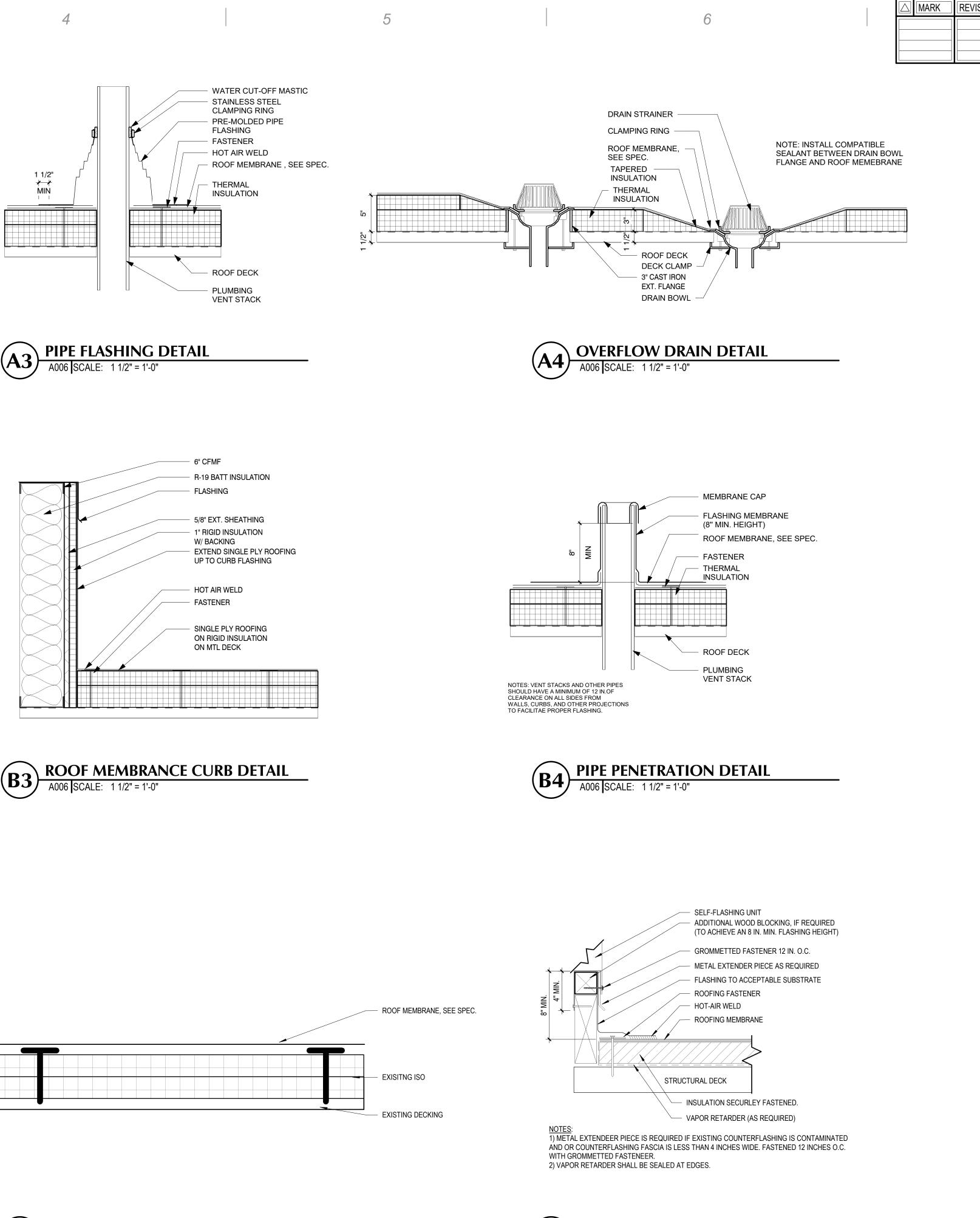
PEAK/RIDGE

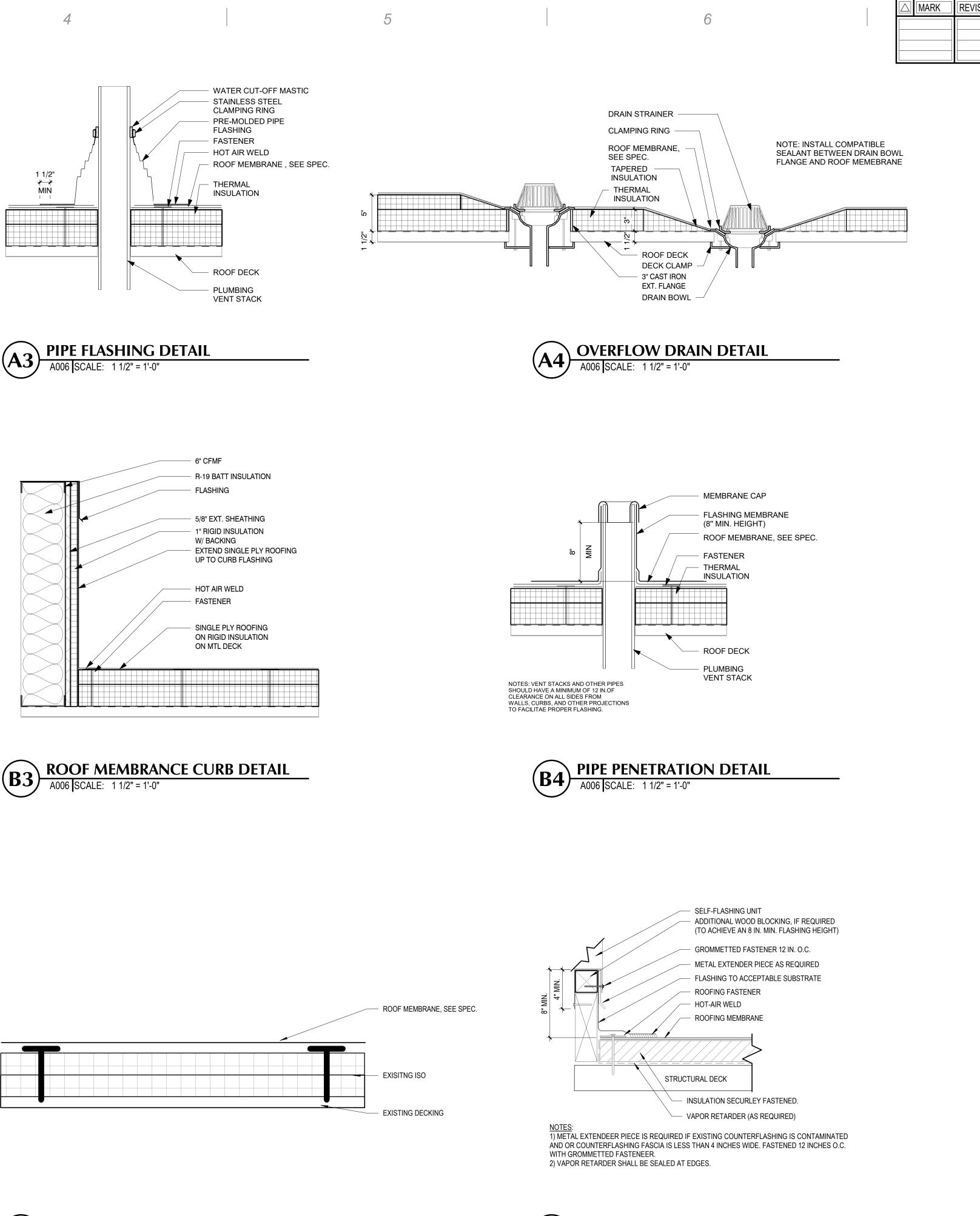
A006 SCALE: 3" = 1'-0'



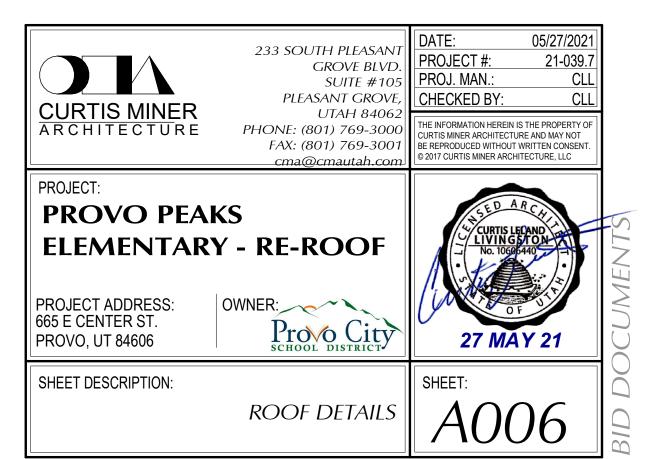
2) NEW ROOFING MEMBRANE MUST BE USED IN AREAS OF ASPHALT CONTAMINATION. 3) VAPOR RETARDER SHALL BE SEALED AT EDGES. 4) FOR SUMPS GREATER THAN 3/12 TO STEEP SUMP TECH BULLETINS.

CLAMPING RING DRAINCLAMPING RING DRAIN A006 SCALE: 3" = 1'-0

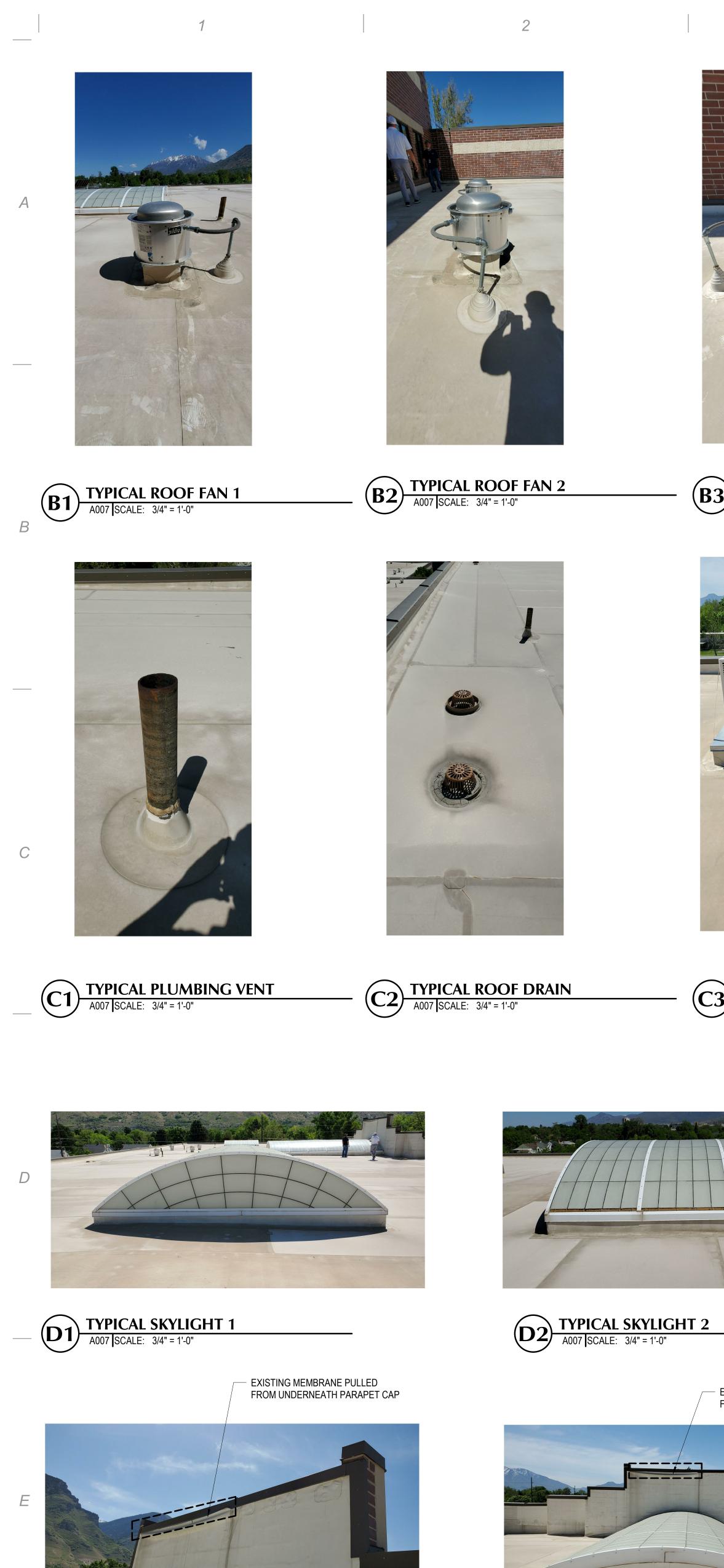








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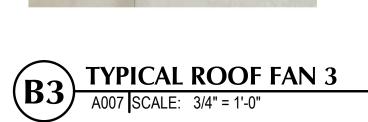


2 2 360 BIM 5/26

(E1) PARAPET @MAIN ENTRANCE 1 A007 SCALE: 3/4" = 1'-0"

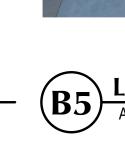
E2 PARAPET @MAIN ENTRANCE 2 A007 SCALE: 3/4" = 1'-0"







B4 TYPICAL ROOF FAN 4 A007 SCALE: 3/4" = 1'-0"









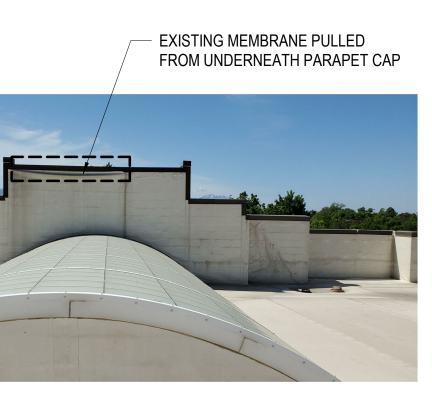






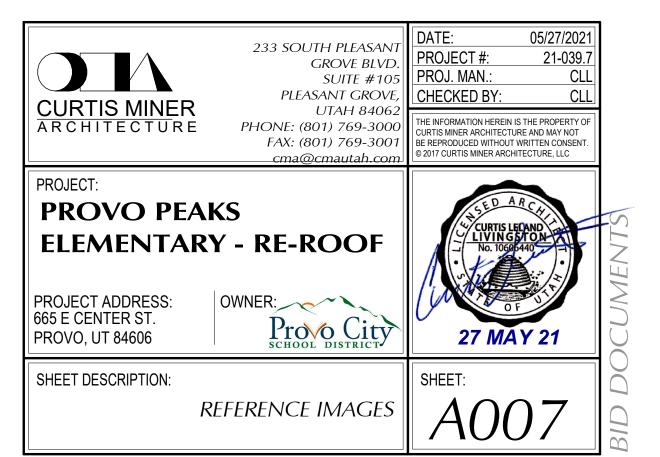
















EXISTING SKYLIGHTS TO REMAIN. SKYLIGHTS TO BE LIFTED
TO ALLOW NEW MEMBRANE TO EXTEND UP AND OVER
EXISTING CURB. SEE DETAILS. TYPICAL ON ALL SKYLIGHTS

C6 TYPICAL RTU 4 A007 SCALE: 3/4" = 1'-0"





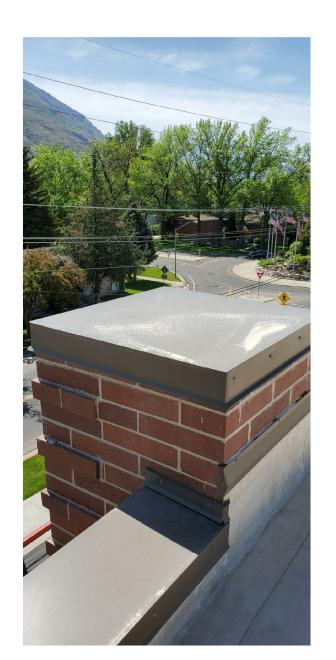






LADDER ATTACHMENT THROUGH FLUSHING

DATE



Α

В

С

D

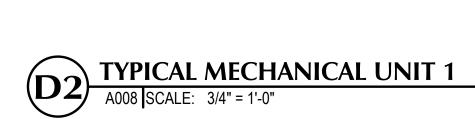
E

B1 TYPICAL PLASTER CAP A008 SCALE: 3/4" = 1'-0"













2 2 BIM 5/26



B3 NORTH WEST MECHANICAL UNIT 1 A008 SCALE: 3/4" = 1'-0"







A008 SCALE: 3/4" = 1'-0"





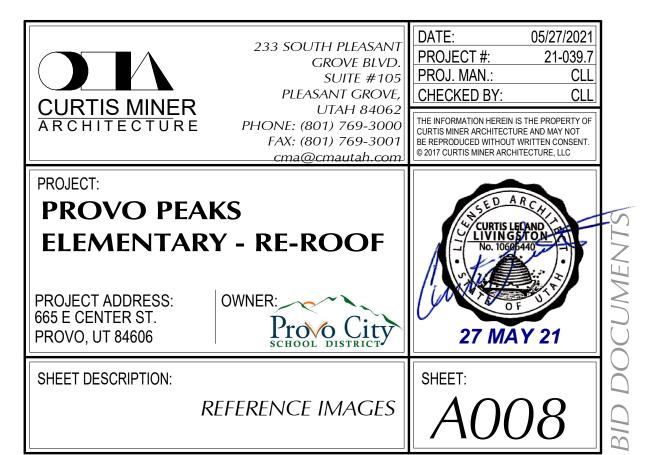
B5 NORTH WEST MECHANICAL UNIT 2 A008 SCALE: 3/4" = 1'-0"



B6 NORTH WEST MECHANICAL UNIT 3 A008 SCALE: 3/4" = 1'-0"



D5 TYPICAL MECHANICAL UNIT 3 A008 SCALE: 3/4" = 1'-0"



1 3 5

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