



MHTN
ARCHITECTS

Addendum No. 01

Issued: 7/3/2019

Project Name: Canyon Crest Elementary STEM Lab

Project No.: 2019533

Addendum No. 01 to the Construction Contract for the above referenced project:

All Contractors submitting proposals on the above captioned project shall be governed by the following changes and explanations to the Bid Documents, dated June 21, 2019, and shall submit their bids in accordance therewith:

Changes to the Drawings

A1.1 Sheet AD101: Replace with new. See attached.

1. Add existing voice system to demo ceiling plan. Salvage for use in remodel.

A1.2 Sheet A101: Replace with new. See attached.

1. Add existing voice system to ceiling plan. Reinstall per owner placement.

M1.1 Sheet M101: Replace with new. See attached.

1. Add 5 decorative louvers as shown and sized per schedule.

Attachments

Sheets: AD101, A101, M101

End of Addendum

DEMOLITION GENERAL NOTES

Existing Conditions: Verify existing site and building conditions including but not limited to underground utilities and service lines, irrigation lines, sub-surface structures and all other existing construction both above and below grade.

Protection: Protect existing construction to remain from damage during demolition and new construction work. Repair any damage resulting from this work.

Protect in-place, existing mechanical, plumbing and electrical systems above ceilings that are not shown to be removed. This includes, but is not limited to: network cabling, coax cabling, conduits, piping, ductwork, etc.

When removing concrete slabs on grade, take all necessary precautions to protect electrical lines in or under those slabs.

Site Access: Coordinate access to the site with the Owner, including times of restricted access.

Coordination: Coordinate extent of walls to be removed with architectural floor plan(s).

Masonry Walls: Where masonry walls are demolished, clean and repair newly exposed surfaces to match adjacent wall finish.

Salvage: Review with the owner, casework, furniture, equipment and wall mounted display surfaces left behind after owner move out, that are not shown on drawings. Identify as either salvage or to be disposed of by contractor.

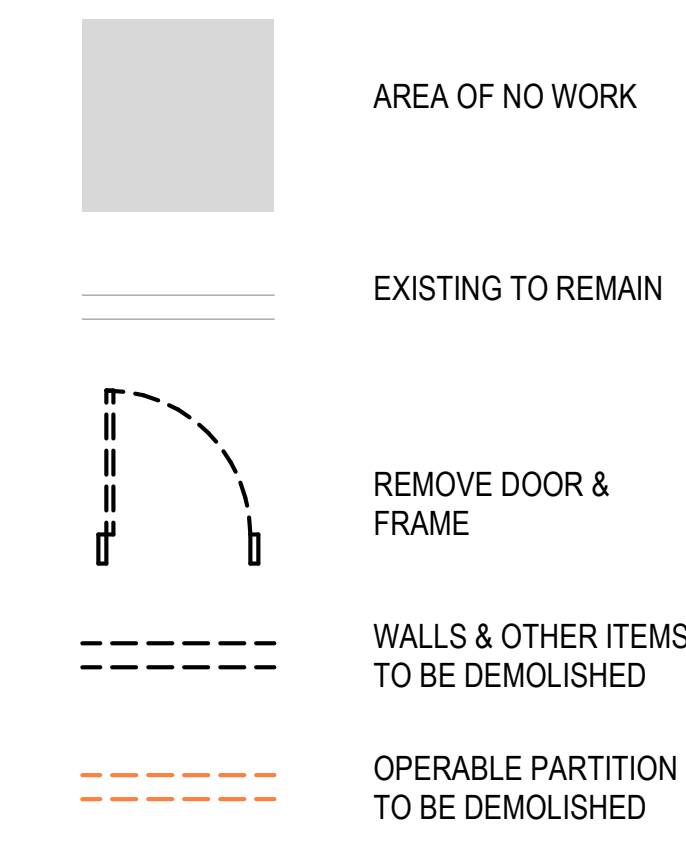
Where indicated to be removed, salvage whiteboards and tack boards for reuse, UNO.

Where indicated to be removed, salvage undamaged acoustical ceiling panels for use in repair, patching and modifications of existing ceilings. Use only in ceilings where panels match.

Verify that existing equipment that is to remain, to be salvaged or to be re-installed, is in working condition. Provide written documentation to the Owner for any items that are not in working condition before beginning work in the area.

Abatement: Owner to contract abatement of all hazardous materials separate from this contract. Verify this work has been completed prior to commencement of work.

LEGEND - DEMOLITION



NOTE: WHERE WALLS AND OTHER ITEMS ARE SHOWN WITH DASHED LINES, WHETHER KEYNOTED OR NOT, REMOVE THESE ITEMS TO THE EXTENT INDICATED AND AS REQUIRED BY NEW CONSTRUCTION.

PROVO CITY SCHOOL DISTRICT
CANYON CREST ELEMENTARY STEM LAB
4664 N CANYON RD
PROVO, UT 84604

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SEAL

MHTN PROJECT NO. 2019533

Original drawing is 36" x 42". Do not scale contents of this drawing.

REVISIONS:
CONTRACTOR TO VERIFY DRAWINGS IN FIELD USE REFLECT LAST REVISION DATE.

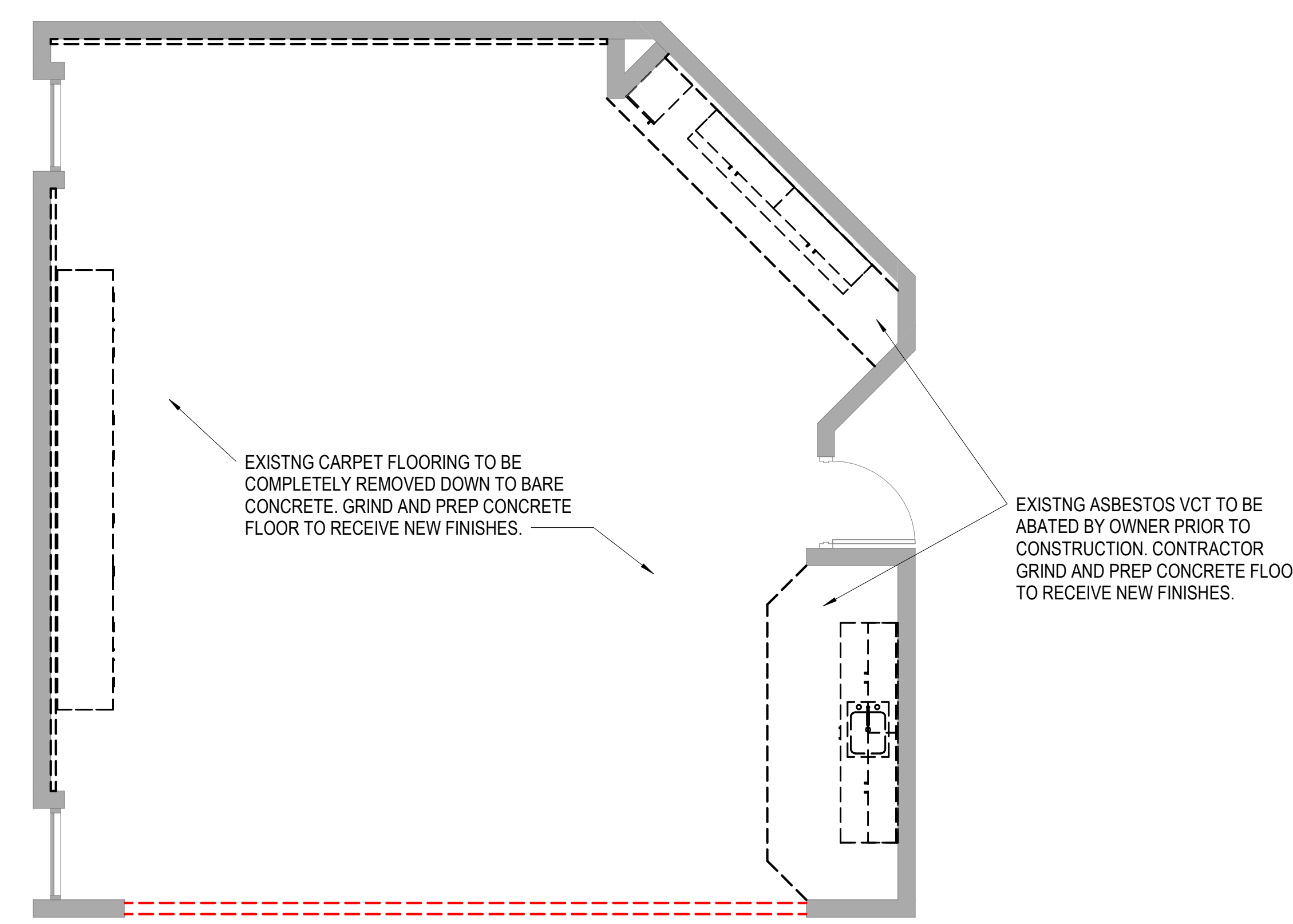
NO.	DATE	DESCRIPTION
01	07.05.19	As Issued/01

ISSUE
CONSTRUCTION DOCUMENTS

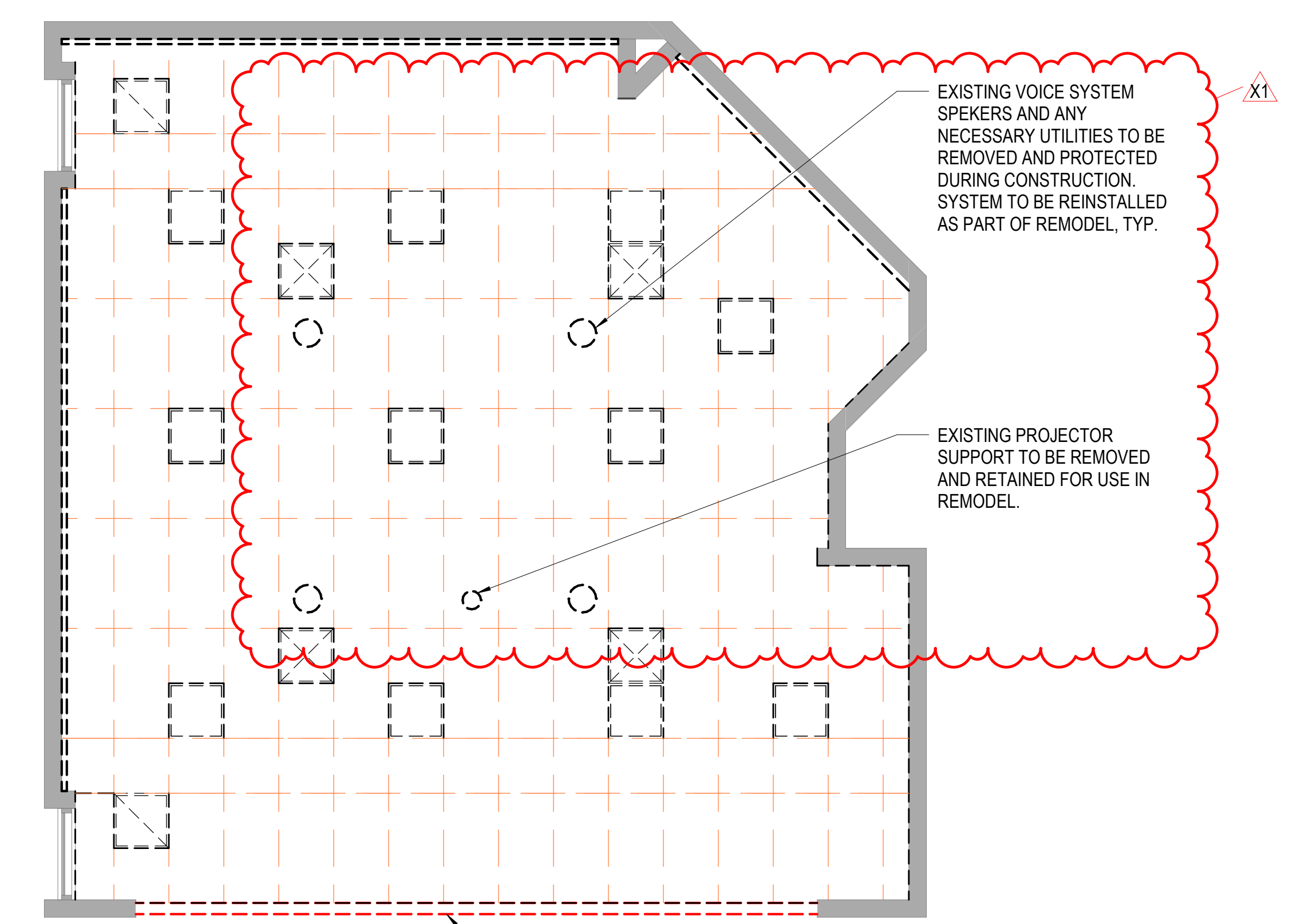
06.21.19

SHEET NAME
DEMOLITION PLANS

SHEET NUMBER
AD101



FIRST FLOOR DEMO PLAN



FIRST FLOOR REFLECTED CEILING DEMO PLAN



PROJECT GENERAL REMODEL NOTES

Verify in Field (VIF): Field verify all dimensions and conditions at the site before submitting a bid or proceeding with any portion of the work.

Cut and Patch: Cut and patch existing building construction as required. Cutting and drilling of structural members not detailed requires the written permission of the structural engineer.

Conflicts: Whenever questions arise or conditions are encountered which are not covered by, or are in conflict with, the contract documents, consult with the Architect prior to taking any further action.

Demolish, Remove: Terms are used interchangeably to indicate detaching or tearing down items from existing construction and legally disposing of them off-site unless indicated to be removed and salvaged or removed and reinstalled.

Existing to Remain: Existing items of the building that are not to be permanently removed and that are not otherwise indicated to be demolished, removed, removed and salvaged or removed and reinstalled.

Equipment Relocation: Relocate existing mechanical and electrical as required for installation of new work.

Material Disposal: Legally dispose of all demolished or removed existing material, unless noted otherwise.

Salvage Material: Coordinate with the owner for removal of existing material noted to be returned to the owner. Removal shall be by the owner unless noted otherwise. Phasing: coordinate phasing of the work with the Owner and the Architect to meet the owner's schedule.

Protection & Cleaning: Contain all construction activity within construction barricades or fences. Protect owner's existing facilities and property adjacent to new construction. During and after work of this contract is complete, clean existing areas affected by the work to the owner's satisfaction.

Protect all existing conditions that remain during demolition work. Repair any damage due to new work.

Repair & Replacement: Repair or replace existing facilities or property damaged by new construction. Match existing surface finish or material.

Patch & Repair: Patch and repair existing walls, floors, ceilings or other surfaces affected by demolition to match the existing material and finish.

Core Drilling Walls and Slabs: Use ground penetrating radar or other approved method to scan concrete over metal deck, concrete suspended slabs, masonry walls, and concrete walls to locate rebar prior to core drilling any holes. Holes shall be located to avoid rebar detected. All openings and groups of openings shall be reinforced as shown on the structural drawings. Submit opening details not shown on the structural drawings to the Structural Engineer for review prior to drilling.

REFLECTED CEILING PLAN GENERAL NOTES

RE: A102 for typical suspended ceiling details, including seismic bracing.

Ceiling Height: 8'-6" UNO. Where floor height varies in a room, ceiling height is shown at the entry to the room, UNO.

Ceiling Grid/Panel Alignment: The design intent of the Reflected Ceiling Plans is to keep ceiling grids or acoustical panels aligned in the same orientation between clouds as indicated on plans in one direction. If the grid does not comply with the design intent, then coordinate with Architect to adjust the ceiling layout prior to installation.

Seismic Design Category: D: Heavy-duty suspension system required

Seismic Bracing: Rigid bracing required at ceilings over 1,000 SF and at all ceilings with fire sprinklers and other penetrations.

Seismic Control Joints: Provide seismic control joints in suspended acoustical ceilings greater than 2,500 SF.

Exposed Elements: Paint exposed structure, pipe, conduit and HVAC duct at open ceilings and at open areas around ceiling clouds. Color: As selected by Architect.

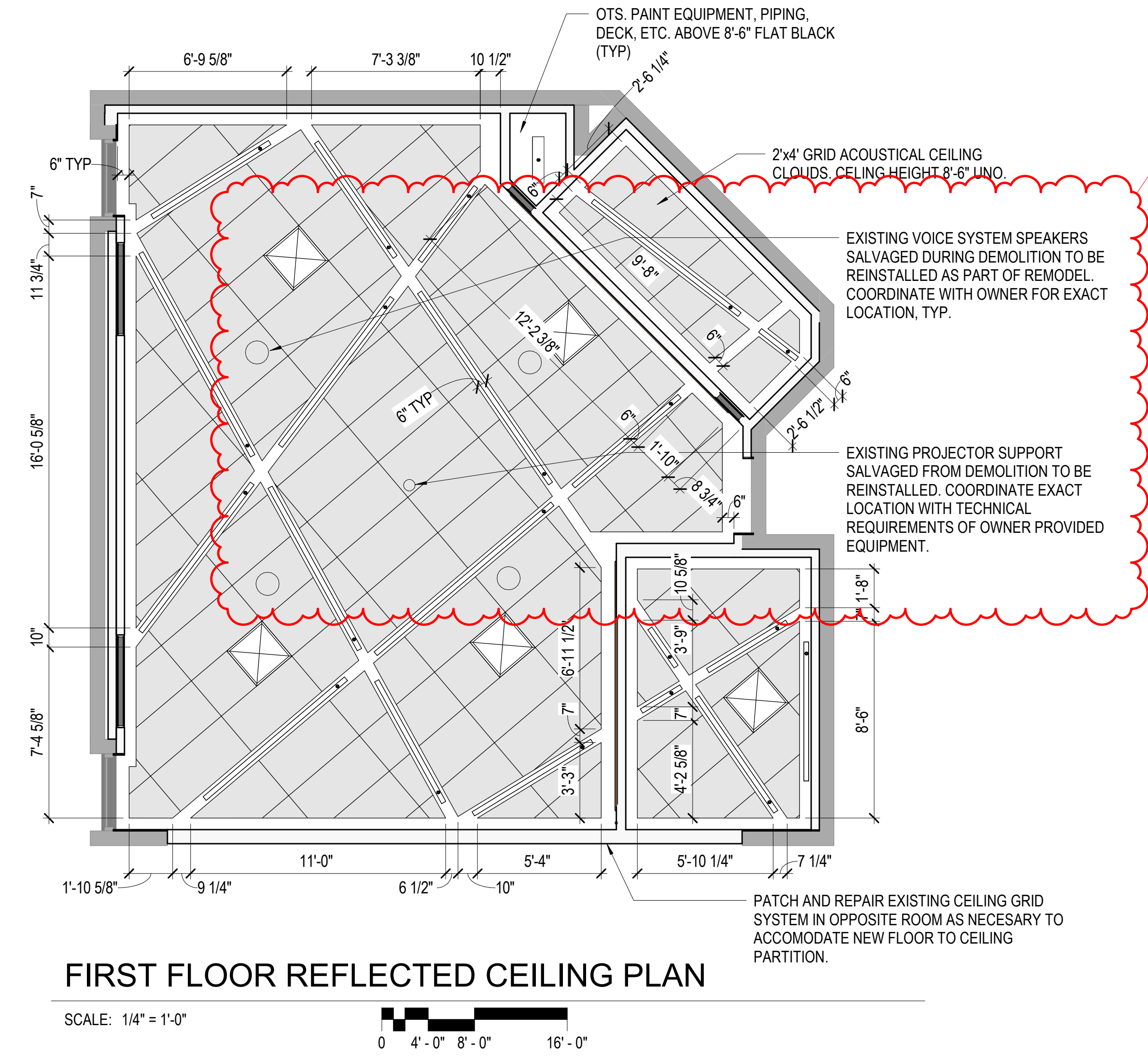
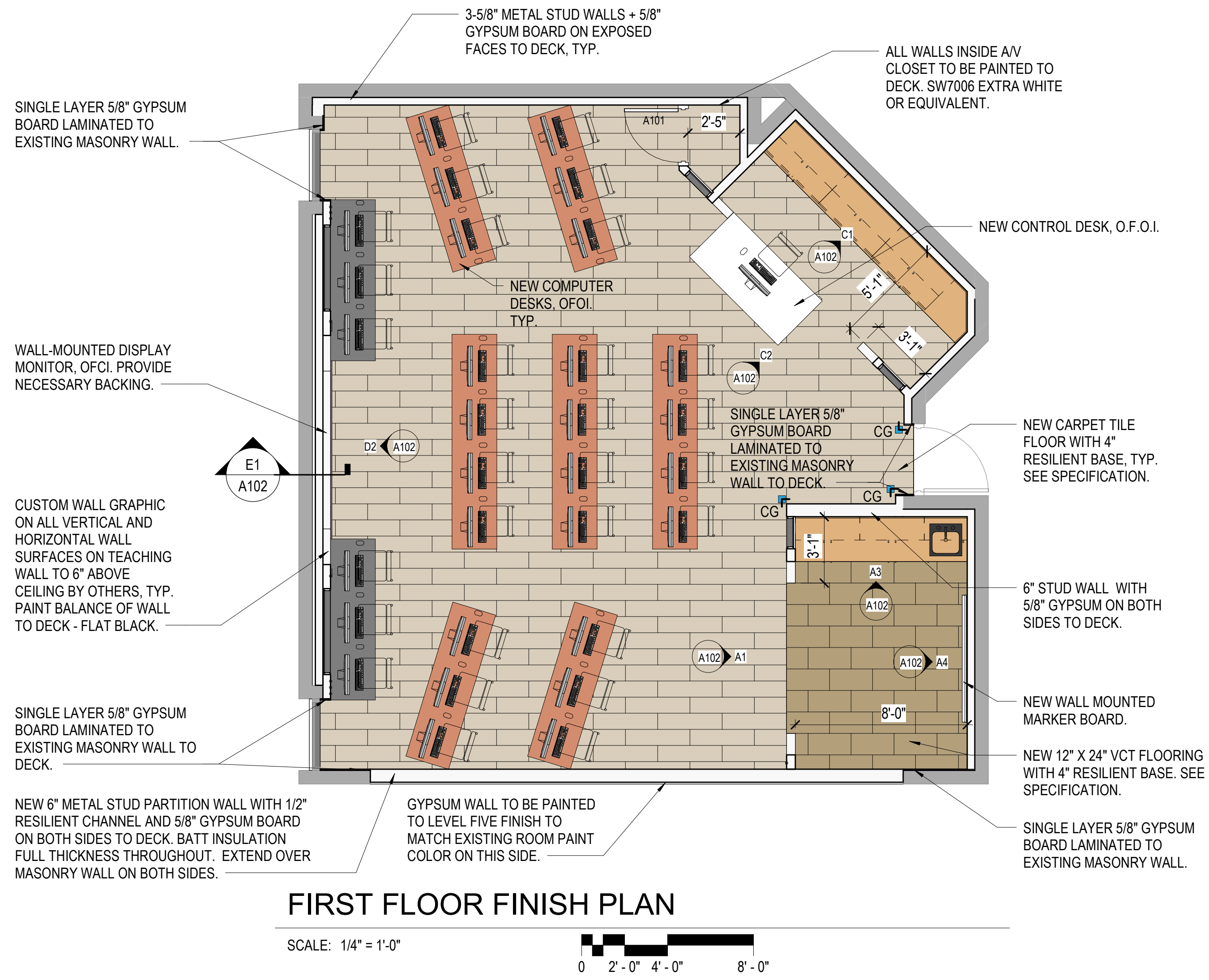
Walls to Deck: Extend all walls to deck, including all components of the wall assembly, UNO.

Fire Sprinklers: Center sprinkler heads in one half of acoustical panels.

Electrical, Mechanical and other Devices: Center in on half of acoustical panels. Coordinate feature layout with Architect prior to rough-in.

Keynotes: Not all keynotes apply to this sheet.

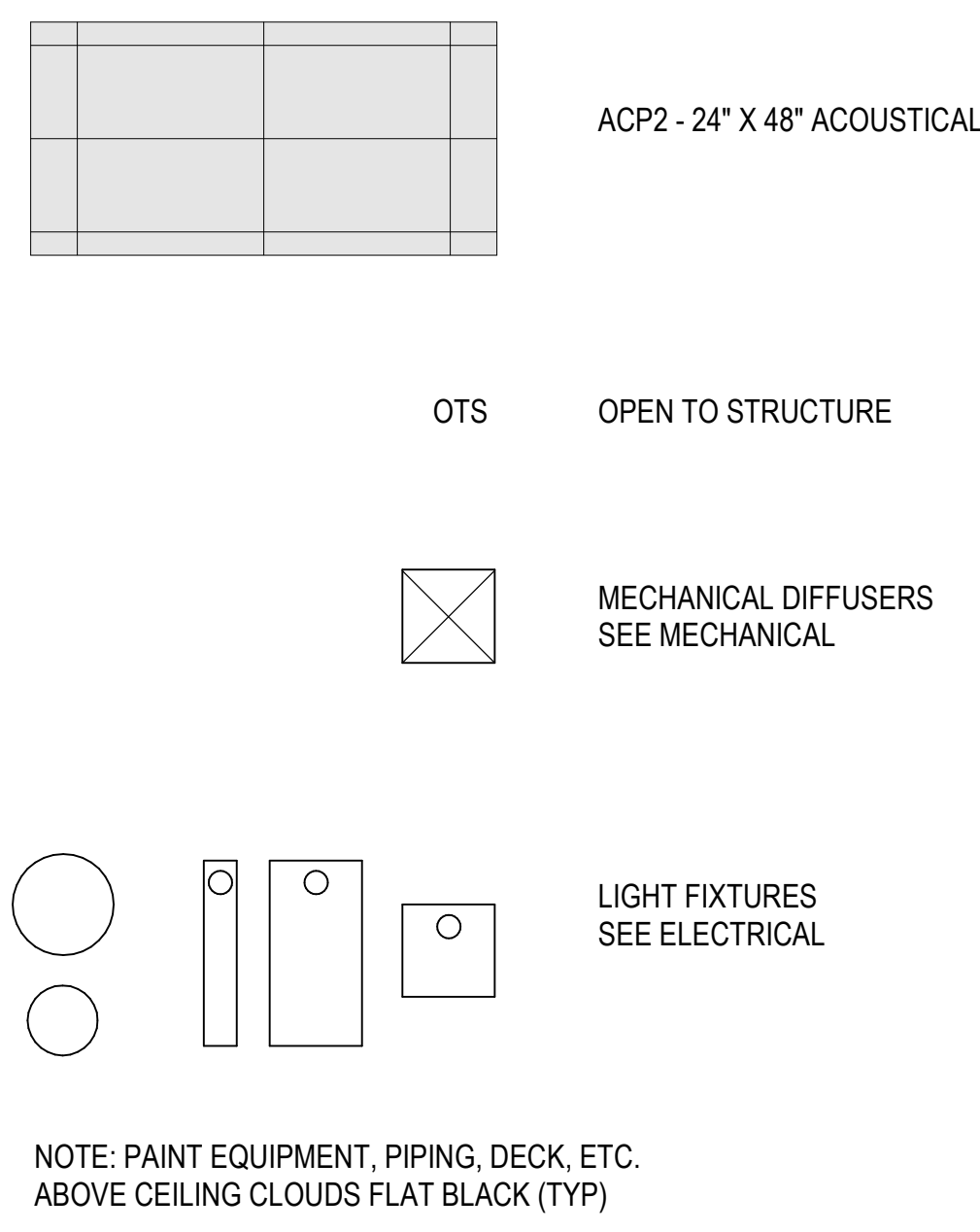
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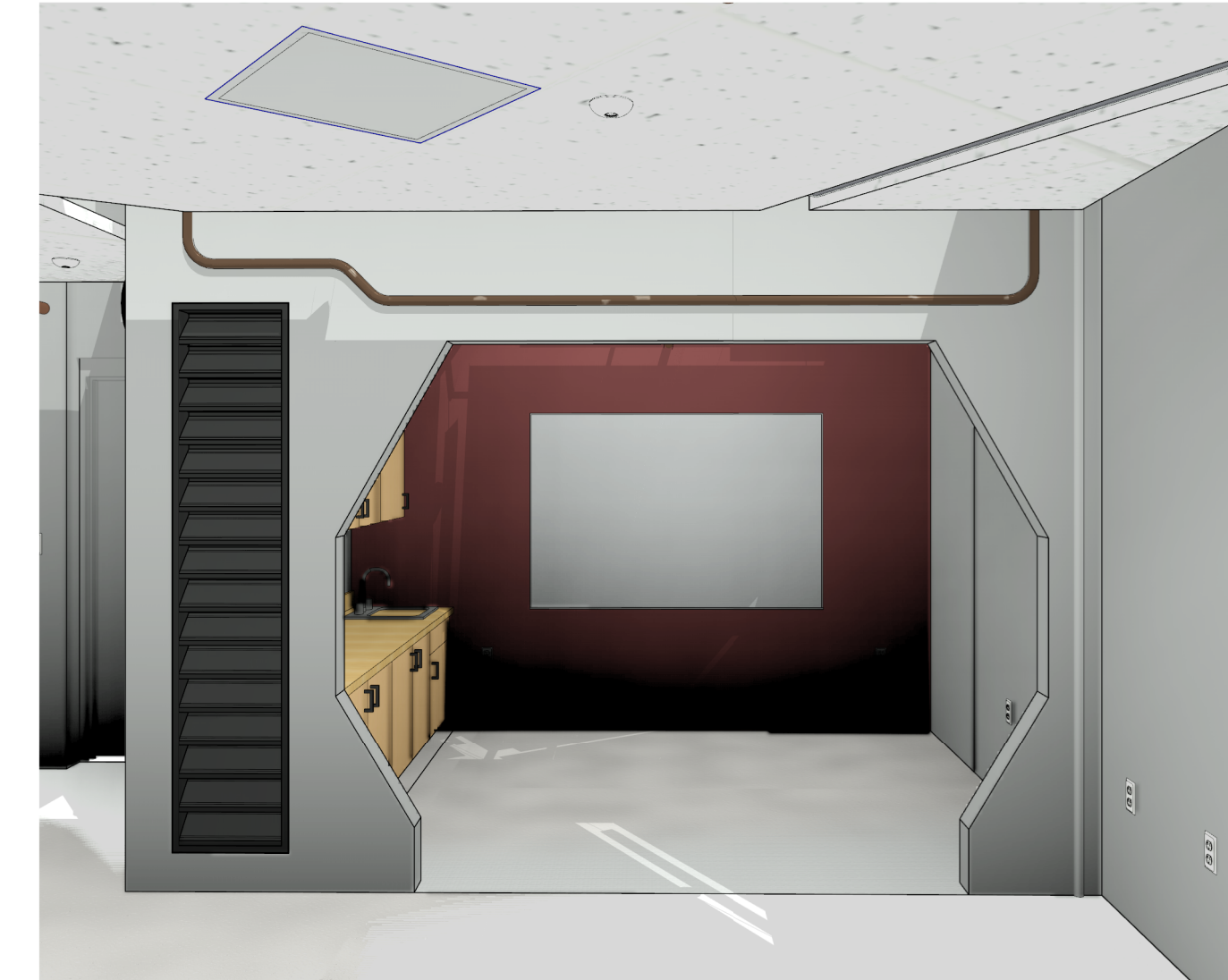
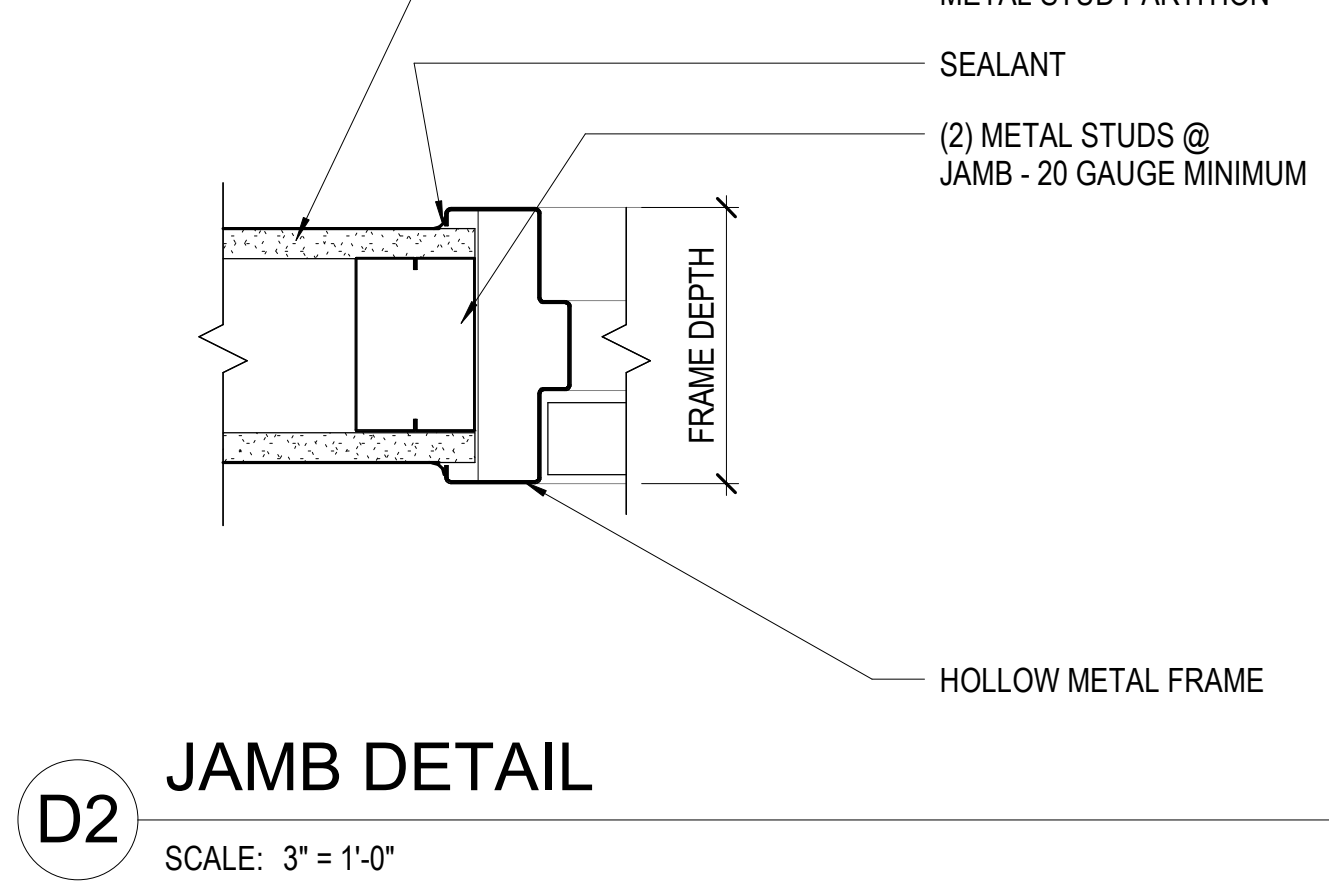
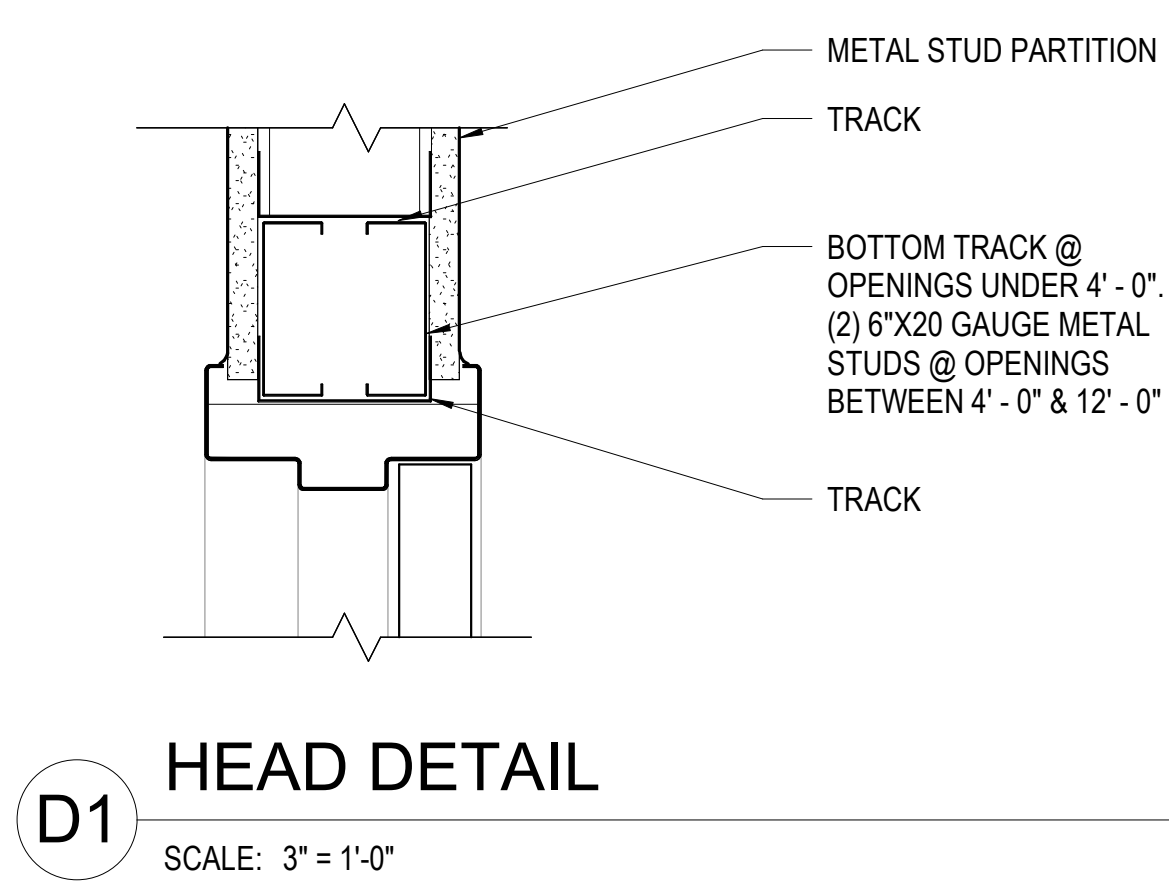
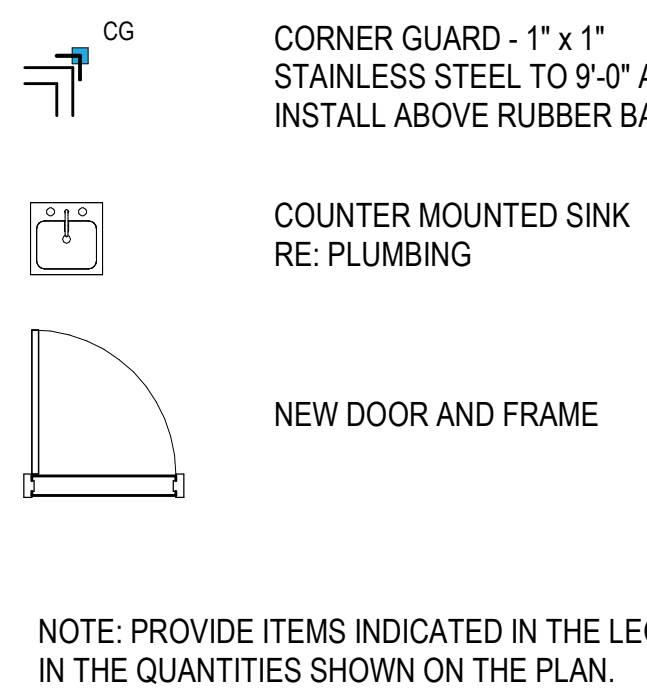
DOOR AND FRAME SCHEDULE

DOOR #	DOOR			FRAME		HEAD DETAIL	JAMB DETAIL	SILL DETAIL	FIRE RATING (MIN)	HARDWARE SET	REMARKS	DOOR #	
	TYPE	WIDTH	HEIGHT	MATERIAL	TYPE								MATERIAL
A101	F	2'-6"	7'-0"	1 3/4"	WD	1	HM	D1/A101	D2/A101	-	01	PLASTIC LAMINATE FOR DOOR LEAF TO BE SELECTED DURING SUBMITTAL FROM MANUFACTURER FULL RANGE. DOOR FRAME PAINTED, COLOR SELECTION DURING SUBMITTAL.	A101
Grand total: 1													

LEGEND - REFLECTED CEILING PLANS



LEGEND - FLOOR PLAN



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MHTN PROJECT NO. 2019533

Original drawing is 36" x 42". Do not scale contents of this drawing.

REVISIONS:
 CONTRACTOR TO VERIFY DRAWINGS IN FIELD USE REFLECT LAST REVISION DATE.

NO.	DATE	DESCRIPTION
A1	07.05.19	As Issued (S)

ISSUE: CONSTRUCTION DOCUMENTS
 06.21.19

SHEET NAME: STEM LAB PLANS & DOOR SCHEDULE

SHEET NUMBER: A101

LOUVER SCHEDULE				
SYMBOL	SIZE	LOCATION	TYPE	MAKE & MODEL
L-1	1'-6" x 7'-0"	SIDEWALL	DECORATIVE	AIROLITE T6482 (1)(2)
L-2	4'-0" x 7'-0"	SIDEWALL	DECORATIVE	AIROLITE T6482 (1)(2)

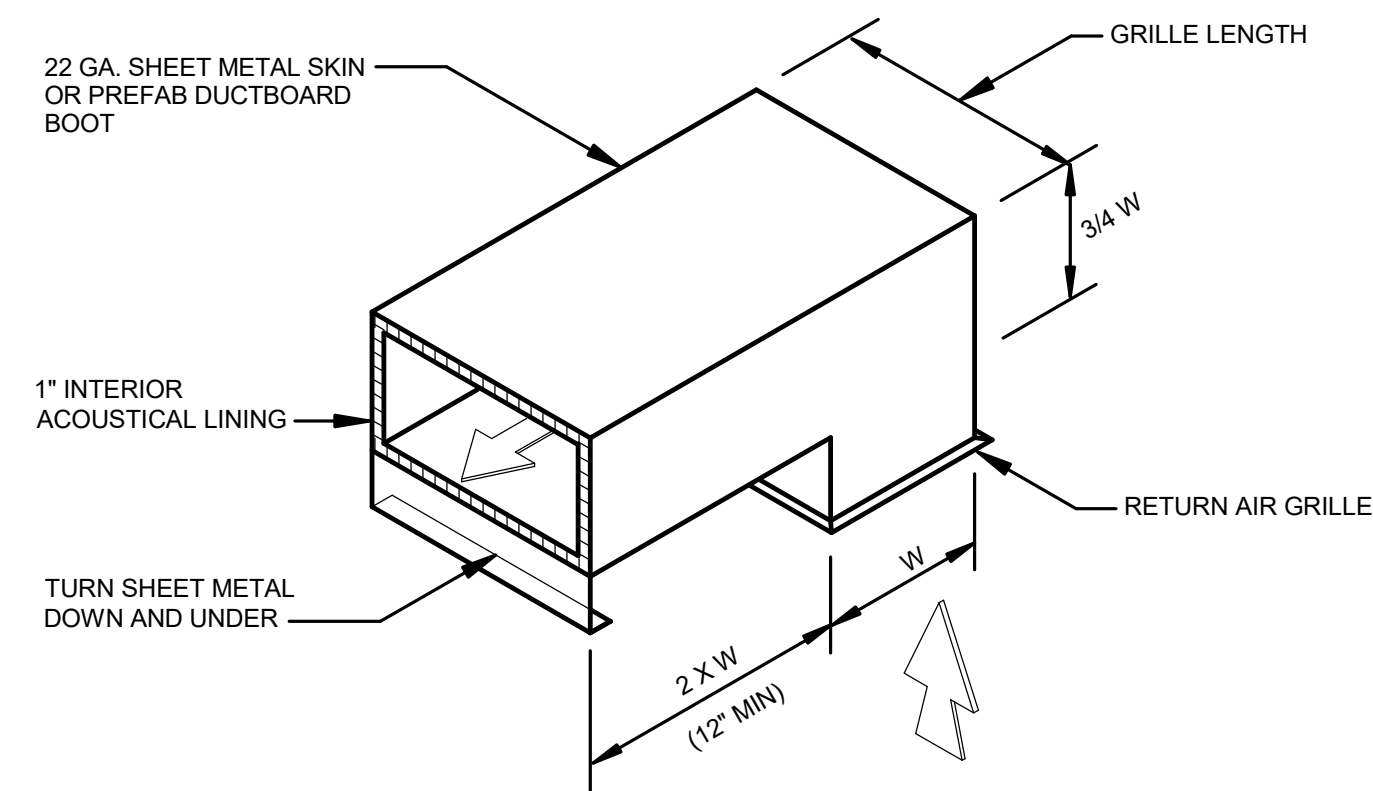
NOTES:
 (1) NO SCREEN REQUIRED.
 (2) PROVIDE FLANGED FRAME.

DIFFUSER SCHEDULE					
SYMBOL	TYPE	NECK SIZE	LOCATION	AIR PATTERN	MAKE & MODEL
D-1 CFM	SUPPLY AIR	6" Ø	CEILING	4-WAY	TITUS OMNI (1)(3)
D-2 CFM	SUPPLY AIR	10" Ø	CEILING	4-WAY	TITUS OMNI (1)(3)

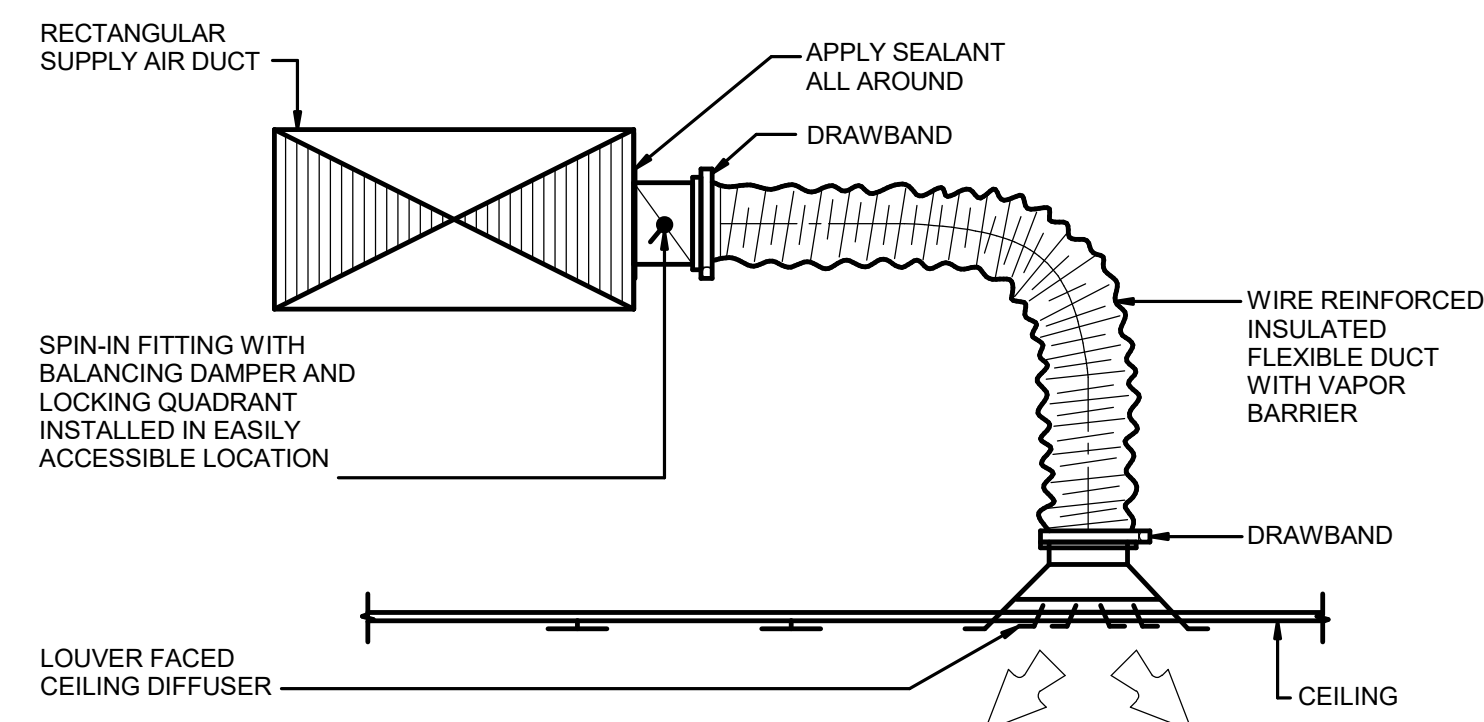
NOTES:
 (1) DIFFUSERS SHALL BE 24"x24" MODULE FOR LAY-IN CEILING INSTALLATION. COORDINATE MOUNTING FRAME WITH INSTALLATION LOCATION AND ARCHITECTURAL REFLECTED CEILING PLAN.
 (2) DIFFUSERS SHALL BE BRIGHT WHITE.
 (3) DIFFUSERS SHALL BE SURFACE MOUNTING TYPE.
 (4) DIFFUSERS SHALL BE 12"x12" FOR GYP BOARD CEILING INSTALLATION. COORDINATE MOUNTING FRAME WITH INSTALLATION LOCATION AND ARCHITECTURAL REFLECTED CEILING PLAN.

REGISTER & GRILLE SCHEDULE				
SYMBOL	SIZE	LOCATION	TYPE	MAKE & MODEL
G-1	12" x 12"	CEILING	RETURN AIR	TITUS 350FL (1)(2)

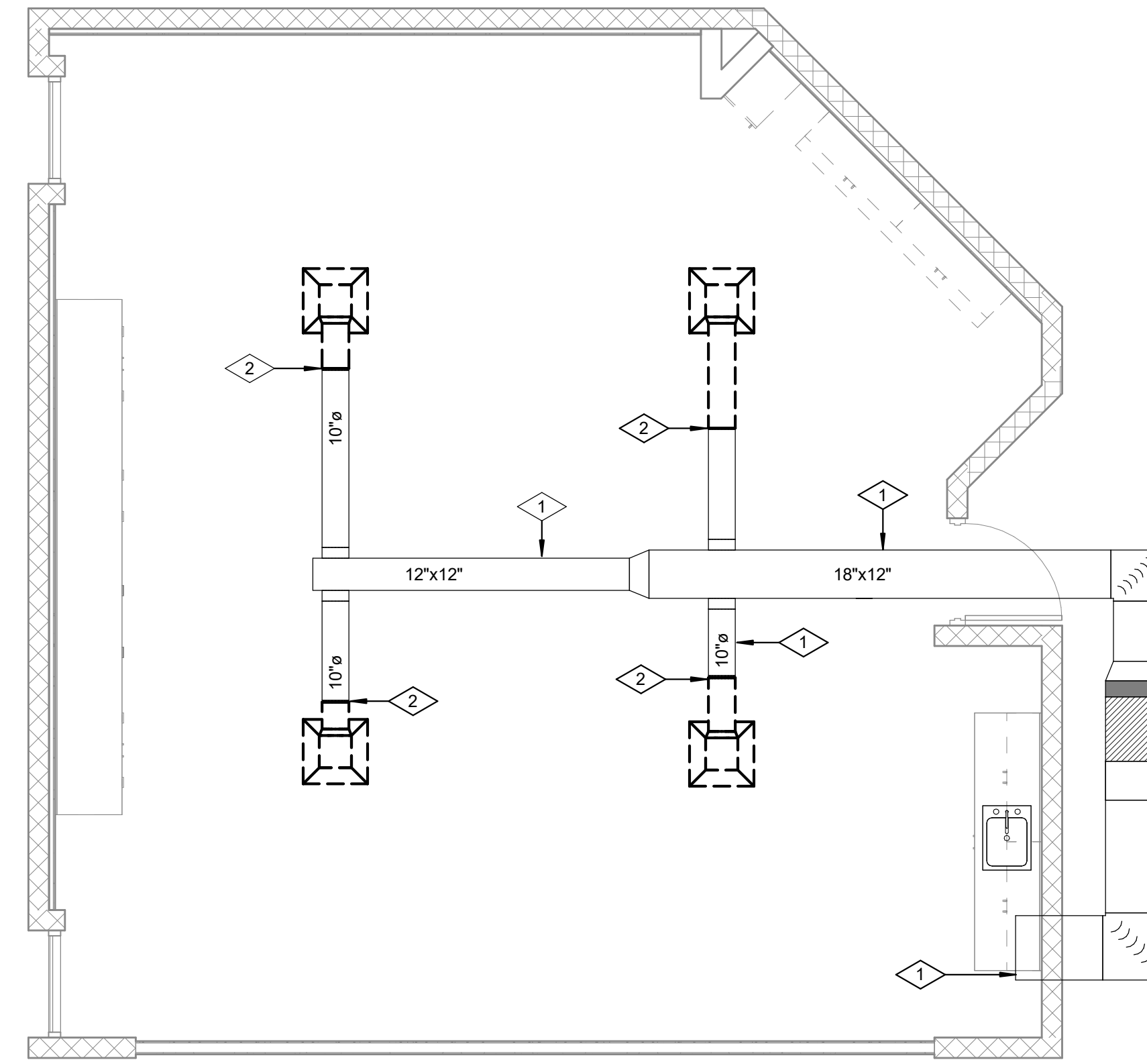
NOTES:
 (1) GRILLE SHALL HAVE BRIGHT-WHITE FINISH.
 (2) COORDINATE FRAME REQUIRED WITH REFLECTED CEILING PLANS.



TRANSFER AIR DETAIL 1
 NOT TO SCALE M101



CEILING DIFFUSER DETAIL 2
 NOT TO SCALE 6-100c M101

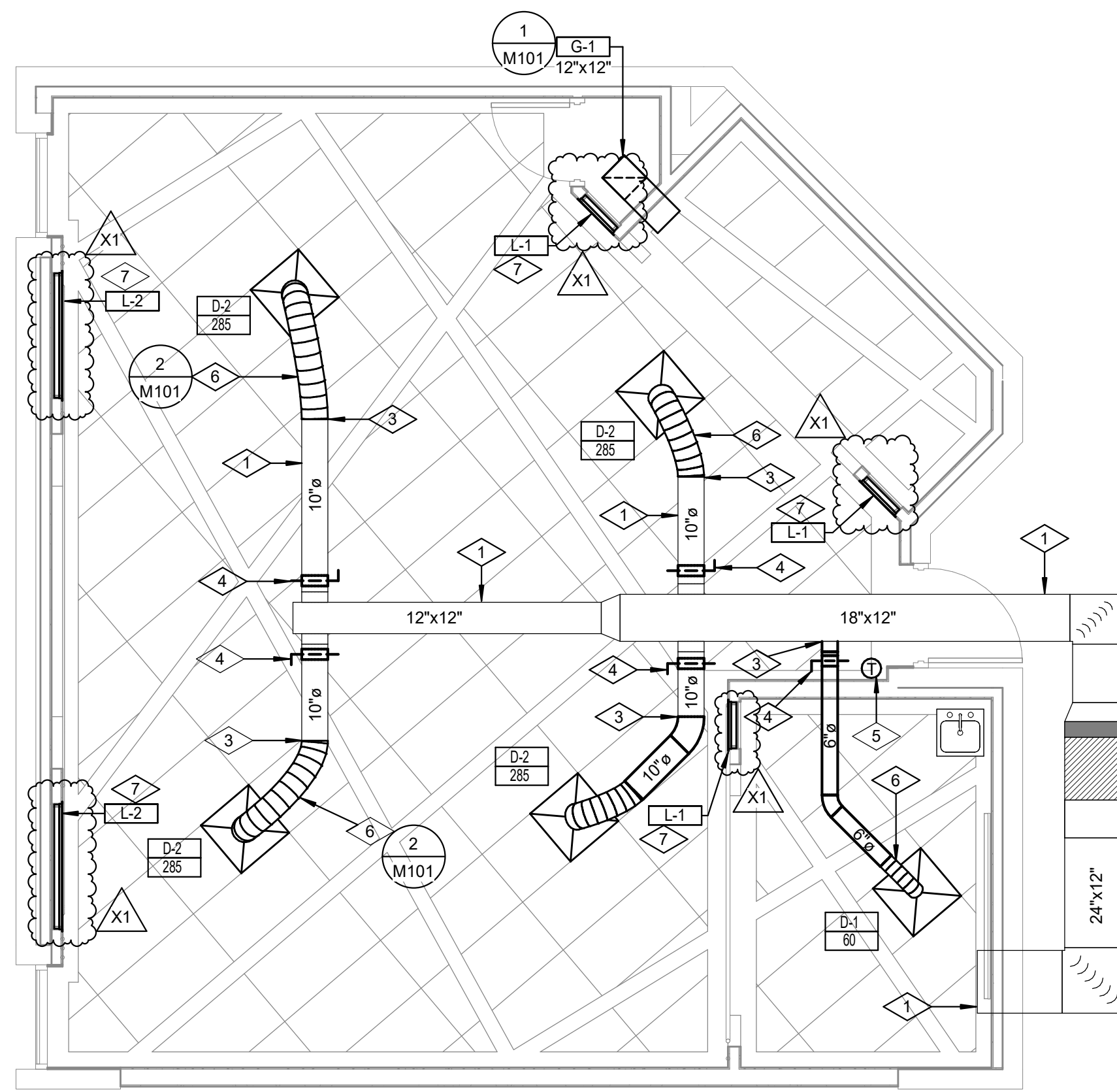


MECHANICAL DEMO PLAN

0 2'-0" 4'-0" 8'-0"
 SCALE: 1/4" = 1'-0"

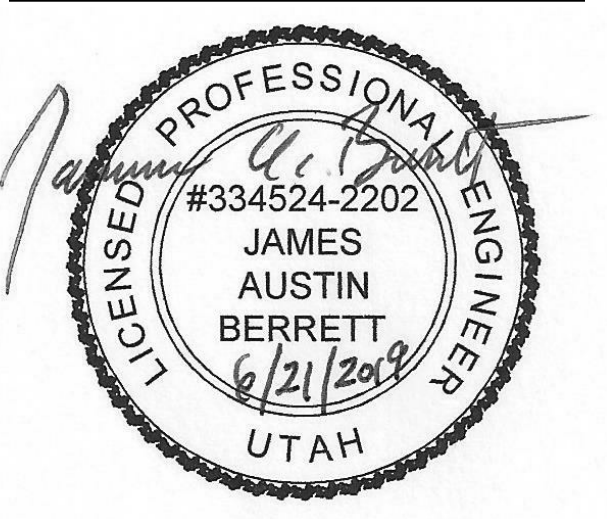
◇ REFERENCE NOTES

- EXISTING DUCTWORK TO REMAIN.
- REMOVE EXISTING DUCTWORK TO THIS POINT.
- TIE IN TO EXISTING DUCTWORK AT THIS POINT.
- INSTALL BALANCING DAMPER.
- HEATING/COOLING THERMOSTAT.
- FLEX DUCT, TYPICAL.
- LOUVER TO BE INSTALLED ON WALL. LOUVER IS PURPOSED FOR AESTHETICS AND SERVES NO FUNCTION.



MECHANICAL PLAN

0 2'-0" 4'-0" 8'-0"
 SCALE: 1/4" = 1'-0"



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SHEET NAME
 MECHANICAL PLAN

SHEET NUMBER
 M101